TO REMAIN

APPROVED

By Jose M Herrera-Preza at 9:56 am, Dec 28, 2020

LAHDSCAPE HOTES:

RS & ROSEMARIHUS (5) GAL.

PL = PRUMUS LAUROCER ASUS (BMG. LAURAL) (15) GAL.

EXIOT, NORTH ELEVATION 4"=1-0"

June 17, 2019

Dear Applicant,

Line & Space C/O Mike Burgess 875A Island Drive #221 Alameda, CA 94502

RE: Case File No. PLN19020: 1435 9th Street (004 -0067-003-00)

Your application, as described below, has been APPROVED for the reasons stated in Attachment A, which contains the findings required to support this decision. Attachment B contains the Conditions of Approval for the project. This decision is effective ten (10) days after the date of this letter unless appealed as explained below.

The following table summarizes the proposed project:

Proposal: Abatement of Code Enforcement Case(s) 1204502 & 1604097 to restore, repair and remodel an existing fire damage two-story duplex. Project includes the raising of the existing basement to create a new ground floor. Results in a three-story duplex. Planning Permits Required: Regular Design Review to move the existing building from the adjacen parcel. Raise the building 4' to create a new ground floor garage and additional floor area. Minor Variance to raise the building within the required side yard setbacks. Minor Conditional Use Permit to allow 3: General Plan: Mixed Housing Type Residential Zoning: RM-2 Mixed Housing Type Residential 2 Zone Environmental Determination: Exempt, Section 15301 of the State CEQA Guidelines: Existing facilities; Section 15303 of the State CEQA Guidelines; New Construction of small structures; Section 15183 of the State CEQA Guidelines: Projects Consistent with a Community Plan, General Plan of Historic Status: Area of Primary Importance (API): Oakland Point. OCHS Rating: C1-

If you, or any interested party, seeks to challenge this decision, an appeal must be filed by no later than ten calendar (10) days from the date of this letter, by 4:00 pm on July 1, 2019. An appeal shall be on a form provided by the Bureau of Planning of the Planning and Building Department, and submitted to the same at 250 Frank H. Ogawa Plaza, Suite 2114, to the attention of Jose M. Herrera-Preza, Planner III. The appeal shall state specifically wherein it is claimed there was error or abuse of discretion by the Zoning Manager or wherein his/her decision is not supported by substantial evidence and must include payment of \$1622.57 in accordance with the City of Oakland Master Fee Schedule. Failure to timely appeal will preclude you, or any interested party, from challenging the City's decision in court. The appeal itself must raise each and every issue that is contested, along with all the arguments and evidence in the record which supports the basis of the appeal; failure to do so may preclude you, or any interested party, from raising such issues during the appeal and/or in court. However, the appeal will be limited to issues and/or evidence presented to the Zoning Manager prior to the close of the previously noticed public comment period on the matter.

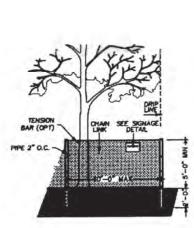
A signed Notice of Exemption (NOE) is enclosed certifying that the project has been found to be exempt from CEQA review. It is your responsibility to record the NOE and the Environmental Declaration at the Alameda County Clerk's office at 1106 Madison Street, Oakland, CA 94612, at a cost of \$50.00 made payable to the Alameda County Clerk. Please bring the original NOE related documents and five copies to the Alameda County Clerk, and return one date stamped copy to the Bureau of Planning, to the attention of Jose M. Herrera-Preza, Planner II. Pursuant to Section 15062(d) of the California Environmental Quality Act (CEQA) Guidelines, recordation of the NOE starts a 35-day statute of limitations on court challenges to the approval under CEQA.

If you have any questions, please contact the case planner, Jose M. Herrera-Preza, Planner II at (510) 238-3808 or jherrera@oaldandca.gov, however, this does not substitute for filing of an appeal as described above.

Very Truly Yours, Zoning Manager

Oakland Heritage Alliance: Christopher Buckley; cbuckley@att.net & Naomi Schiff: naomi@17th.com





EXISTING TREE PROTECTION DETAILS

PINCE SHALL BE MINIMUM 5 FEET TALL CONSTINUED OF STURDY MATERIAL CHAUN-LINK OR EQUIVALENT STRENGTH/ DURABLITY). (CHAIN-LIBY OR EQUIVALENT STRENGTH/ DURABILITY).

3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.

1. TREE FENCING SHALL BE MANIFARED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER PUNCTION. REPARED AS NECESSARY TO PROVIDE A PHYSICAL BARRER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.

STAIRS AND HANDRAILS AS REQUIRED PER CBC SECTION 1009.6 AND/OR (E) HOUSE CRC SECTION R311.7

120.00

C I HOUR HALL

120.0 SITE PLAN OF EXIST. HOPE LOCATION 18"=1-0"

VERIFY/PROVIDE SMOKE and CARBON MONOXIDE DETECTORS PER CRC SECTIONS R314 & R315 AND/OR CBC SECTIONS 420 & 907.2.11

35' HAX. ROOF HOISHIT

(#) ROOF STAUSTURE

(H) RAILING

HELL STAIRS &

PROVIDE THE FOLLOWING WATER **CLOSET DIMENSIONS PER CPC 402.5** ■15" MIN. FROM CENTERLINE TO SIDE WALL OR OBSTRUCTION •24" MIN FRONT CLEARANCE

PENETRATION OF FIRE RESISTANCE

RATED ASSEMBLIES PER CRC

SECTIONS R302.4 & R302.5 AND

CBC SECTIONS 714 & 715

VERIFY/PROVIDE LIGHT AND VENTILATION REQUIREMENTS IN ALL HABITABLE ROOMS PER CRC SECTION R303 AND/OR CBC SECTIONS 1203 & 1205

> USE 'DUROCK' OR 'WONDERBOARD' OR AN APPROVED EQUAL BEHIND GLUE-ON TILE IN TUB, BATH, OR SHOWER AREAS PER **OAKLAND BUILDING CODE**

1435 9th St Oakland CA 004-0067-003-00 RM-2 Zone:

Lot Area: 3,000 Front Yard Setback Area 450 sqft. Front Yard Pervious Area 245 soft. (45%)

NOTICE
NOTICE
NOTICE

NOTICE

REQUIRED FROM ERMUD FOR
REQUIRED FROM EBMUD (PSL)
REQUIRED FROM LATERAL (PSL)
PRIVATE SEWER LATERAL
PRIOR TO FINAL
PRIOR TO FINAL Front Yard Existing Proposed Required

Rear Yard Existing Proposed Required 20 West Side Yard Existing

Proposed Required East Side Yard Existing Proposed

2.33' 5' Required Height Exist Wall Height

21' 30' 35' Proposed Wall Height Max. Roof Height

RBC1905931



Marquez Digitally signed

Monroe 10:15:43 -08'00'

Vintrel

by Marquez

Vintrel Monroe

Date: 2020.12.04

CITY OF OAKLAND BUREAU OF BUILDING PLAN CHECK SECTION For Substantial Compliance With Codes and Ordinances
REVISIONS NEED APPROVAL

M. Monroe

X BUILDING CODE SUBJECT TO JULY Sec. 105 4, Sec. 107.3, CRC Sec. R105 4 & Sec. R106.3

A1.2 Proposed Elevations

A2.1 Existing and Proposed Floor Plans

A3.1 Sections/Details

S1.0 Foundation/Framing Plans

S2.0 Framing/Roof Plans

S3.0 Details

S4.0 Details/Notes

Index of Drawings

C1.1 Site Plan w/ Front Elevations

C1.2 Survey

T1.1 Title 24 Unit 1 T1.2 Title 24 Unit 2 A0.0 Conditions of Approval

SURVEY (REVIEW ONLY)
PLOT PLAN REVIEW
PARKING/DWY LAYOUT
GRADING AND A1.1 Existing Elevations **EROSION CONTROL** SOILS REPORT ON FILE

ELECT. MECH. PLUMB. NOT CHECKED

12/04/2020

FROPOSED NORTH FLEXATION 4"=1"0"

NEW BAY WINDOW -

Remodel/Renov 1435 9th Street

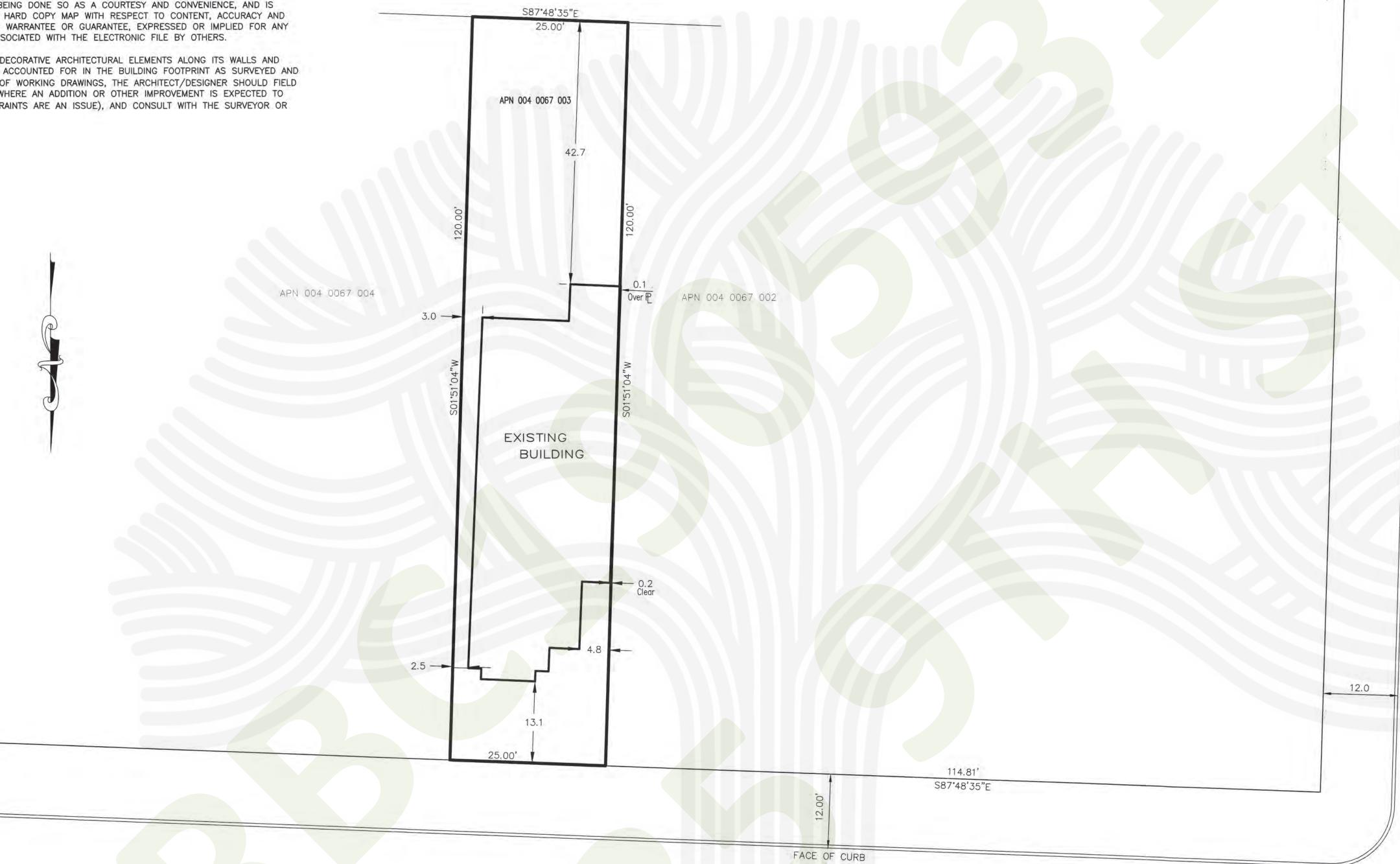
1435 9th

THE SCOPE AND LIMIT OF THIS SURVEY WAS DEFINED IN SEPTEMBER BY MICHAEL BURGESS. USE OF THIS SURVEY IS LIMITED TO THE PROPERTY OWNER AS REFERENCED IN THE TITLE BLOCK AND CONSULTANTS FOR THE SPECIFIC PROJECT. OTHERS MAY NOT USE THIS MAP WITHOUT THE PERMISSION OF THE CLIENT AND HUMANN COMPANY. BOUNDARY AND BASIS OF BEARINGS ARE PER THE UNDERLYING RECORD MAP AS REFERENCED IN THE TITLE BLOCK HEREON.

TITLE REPORT WAS NOT SUPPLIED AND/OR AVAILABLE FOR THIS SURVEY. ACCORDINGLY, EASEMENTS, IF ANY, MAY EXIST AND ARE NOT NECESSARILY SHOWN HEREON.

THE ELECTRONIC FILE IF SUPPLIED, IS BEING DONE SO AS A COURTESY AND CONVENIENCE, AND IS SUBORDINATE TO THE PROVIDED SIGNED HARD COPY MAP WITH RESPECT TO CONTENT, ACCURACY AND QUALITY. HUMANN COMPANY MAKES NO WARRANTEE OR GUARANTEE, EXPRESSED OR IMPLIED FOR ANY COPIES OF THE DRAWINGS OR WORK ASSOCIATED WITH THE ELECTRONIC FILE BY OTHERS.

BUILDING(S) SHOWN HEREON CONTAINS DECORATIVE ARCHITECTURAL ELEMENTS ALONG ITS WALLS AND CORNERS WHICH ARE NOT NECESSARILY ACCOUNTED FOR IN THE BUILDING FOOTPRINT AS SURVEYED AND MAPPED. PRIOR TO THE PREPARATION OF WORKING DRAWINGS, THE ARCHITECT/DESIGNER SHOULD FIELD INSPECT ANY AREAS ON THE BUILDING WHERE AN ADDITION OR OTHER IMPROVEMENT IS EXPECTED TO OCCUR (IF SETBACKS OR OTHER CONSTRAINTS ARE AN ISSUE), AND CONSULT WITH THE SURVEYOR OR ENGINEER AS NEEDED.



9TH STREET

RBC1905931

APPROVED CITY OF OAKLAND BUREAU OF BUILDING PLAN CHECK SECTION For Substantial Compliance With Codes and Ordinances REVISIONS NEED APPROVAL By: M. Monroe

X BUILDING CODE

SUBJECT TO THE Sec. 105 4, Sec. 107.3,
CRC Sec. R105 4 & Sec. R106.3

SURVEY (REVIEW ONLY)

PLOT PLAN REVIEW

PARKING/DWY LAYOUT

GRADING AND

EROSION CONTROL

SOULS PERCENT ON FILE SOILS REPORT ON FILE

ELECT. MECH. PLUMB.
NOT CHECKED
Date: 12/04/2020 /

BEFORE EXCAVATING CALL U.S.A. OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227—2600, 48 HOURS PRIOR TO ANY CONSTRUCTION.

THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.

LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE, AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMANN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ...ETC.





JOB NO. 18112

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Re	01
	7
	Remodel/Renc

Project Name: Residential Building Calculation Date/Time: 11:03, Mon, Nov 25, 2019 Page 1 Calculation Description: Title 24 Analysis Input File Name: AhmedSohailUnit1Residence.ribd16x	of 8 Project Name: Residential Building Calculation Date/Time: 11:03, Mon, Nov 25, 2019 Page 5 of 8 Calculation Description: Title 24 Analysis Input File Name: AhmedSohailUnit1Residence.ribd16x	Ahmed, Sohail	grilles, and an air-handling unit fan efficacy ≤ 0.58 W/CFM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.3. This applies to both single zone central forced air systems and every zone for zonally controlled central forced air systems.* Ventilation for Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2. Neither window operation nor	
GENERAL INFORMATION 01 Project Name Residential Building	OPAQUE SURFACE CONSTRUCTIONS 01 02 03 04 05 06 07	INSULATION Construction Type Cavity (ft²) Special Features Status New New	§ 150.0(o): continuous operation of central forced air system air handlers used in central fan integrated ventilation systems are permissible methods of providing whole-building ventilation. § 150.0(o)1A: Field Verification and Diagnostic Testing. Whole-building ventilation airflow must be confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.7.	
02 Calculation Description Title 24 Analysis 03 Project Location 1435 9th Street - Unit 1 04 City Oakland 05 Standards Version Compliance 2017	Construction Name Surface Type Construction Type Framing Total Cavity R-value U-factor Assembly Layers - Inside Finish: Gypsum Board	Door Opaque Door - no insulation 40 New Slab Unheated Slab-on-Grade - no insulation 1,040 Perim = 122' New	Pool and Spa Systems and Equipment Measures: Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater	
Osk City Oskiand O5 Standards Version Compliance 2017	R-0 Wall Exterior Walls Wood Framed Wall 2x4 @ 16 in. O.C. none 0.302 Siding/sheathing/decking	Floor Wood Framed w/o Crawl Space R 30 185 New Roof Wood Framed Rafter R 38 1,225 New Demising Wood Framed w/o Crawl Space - no insulation 1,040 New	§ 110.4(a): Without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating. S 410.4(b): Piping. Any pool or spa heating equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated	
10 Building Type Single Family 11 Front Orientation (deg/Cardinal) 0 12 Project Scope Newly Constructed 13 Number of Dwelling Units 1	- Inside Finish: Gypsum Board - Cavity / Frame: no insul. / 2x4 - Roof Deck: Wood Siding/sheathing/decking R-0 Roof Cathedral Cathedral Ceilings Wood Framed Ceiling 2x4 @ 16 in O.C. none 0.478 Roofing: 5 PSF (Normal Gravel)	Demining Wood France We Grain Space	§ 110.4(b)1: suction and return lines, or built-in or built-up connections to allow for future solar heating. § 110.4(b)2: Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover. Directional inlets and time switches for pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that	
14 Total Cond. Floor Area (ft²) 2265 15 Number of Zones 2 16 Slab Area (ft²) 1040 17 Number of Stories 2 18 Addition Cond. Floor Area(ft²) r/a 19 Natural Gas Available yes	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: Wood	FENESTRATION Total Area: 482 Glazing Percentage: 21.3 % New/Altered Average U-Factor: 0.31	§ 110.4(o)3: will allow all pumps to be set or programmed to run only during off-peak electric demand periods. § 110.5: Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light. Pool Systems and Equipment installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow	
20 Addition Slab Area (ft²) n/a 21 Glazing Percentage (%) 21.3% COMPLIANCE RESULTS	R-15 Wall Exterior Walls Wood Framed Wall 2x4 @ 16 in, O.C. R 15 0.089 Siding/sheathing/decking Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 R-15 Wall1 Interior Walls Wood Framed Wall 2x4 @ 16 in, O.C. R 15 0.086 Other Side Finish: Gypsum Board Other Side Finish: Gyps	Right (W) 50.0 0.420 0.40 none none Bug Screen New Front (N) 21.5 0.300 0.45 none none Bug Screen New Left (E) 80.0 0.300 0.45 none none Bug Screen New	§ 150.0(p): rate, piping, filters, and valves. Lighting Measures: Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements.	
01 Building Complies with Computer Performance 02 This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.	R-15 Wall 1 Interior Walls Wood Framed Wall 2x4 @ 16 in. O.C. R 15 0.086 • Other Side Finish; Gypsum Board • Floor Surface: Carpeted • Floor Surface: Carpeted • Floor Deck: Wood Siding/sheathing/decking R-30 Floor No Crawlspace Exterior Floors Wood Framed Floor 2x10 @ 16 in. O.C. R 30 0.034 • Cavity / Frame: R-30 / 2x10	Rear (S) 252.0 0.300 0.45 none none Bug Screen New Right (W) 58.8 0.300 0.45 none none Bug Screen New	§ 110.9.* § 110.9(e): Solution of § 110.9.* Solution of § 110.9.* Solution of § 150.0(k), a residential light source must be certified to the Energy Commission according to Reference Joint Appendix JA8.	
03 This building incorporates one or more Special Features shown below ENERGY USE SUMMARY	Inside Finish: Gypsum Board Cavity Frame: R-38 / 2x12 Roof Deck: Wood Siding/sheathing/decking	Right (NW) 10.0 0.300 0.45 none none Bug Screen New Front (NE) 10.0 0.300 0.45 none none Bug Screen New	§ 150.0(k)1A: Luminaire Efficacy. All installed luminaires must be high efficacy in accordance with TABLE 150.0-A. Blank Electrical Boxes. The number of electrical boxes that are more than 5 feet above the finished floor and do not contain a furninaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, or	
04 05 06 07 08 Energy Use (kTDV/ft²-yr) Standard Design Proposed Design Compliance Margin Percent Improvement	R-38 Roof No Attic Cathedral Cellings Wood Framed Celling 2x12 @ 16 in, O.C. R 38 0,030 • Roofing: 5 PSF (Normal Gravel) • Floor Surface: Carpeted • Floor Deck: Wood Siding/sheathing/decking • Cavity / Frame: no insul. / 2x12		Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C. A JA8-2016-E light source rated for elevated temperature must be installed by final inspection in all recessed downlight luminaires in ceilings.	
Space Heating 11.58 9.14 2.44 21.1% Space Cooling 1.70 2.46 -0.76 -44.7% IAQ Ventilation 1.27 1.27 0.00 0.00	R-0 Floor No Crawlspace Interior Floors Wood Framed Floor 2x12 @ 16 in. O.C. none 0.196 - Celling Below Finish: Gypsum Board Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking		§ 150.0(k)1D: Electronic Ballasts. Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz. Night Lights. Permanently installed night lights and night lights integral to installed luminaires or exhaust fans must be rated to consume no	
1.27 1.27 0.00 0.0%	R-30 Floor No Crawlspace 1 Interior Floors Wood Framed Floor 2x10 @ 16 in. O.C. R 30 0.033 • Ceiling Below Finish: Gypsum Board SLAB FLOORS	HVAC SYSTEMS	§ 150.0(k)1E: more than 5 watts of power per luminaire or exhaust fan as determined in accordance with § 130.0(c). Night lights do not need to be controlled by vacancy sensors. § 150.0(k)1F: Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).	
Compliance Energy Total 23.97 23.79 0.18 0.8% CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METIOD	01 02 03 04 05 06 07 Name Zone Area (ft²) Perimeter (ft) Edge Insul Ryalue & Depth Carpeted Fraction Heated	Qty. Heating Min. Eff Cooling Min. Eff Thermostat Status 1 Central Furnace 95% AFUE No Cooling 14.0 SEER Setback New 1 Central Furnace 95% AFUE No Cooling 14.0 SEER Setback New	Screw based furninaires. Screw based furninaires must not be recessed downlight luminaires in ceilings and must contain lamps that comply with Reference Joint Appendix JA8. Installed lamps must be marked with "JA8-2016" or "JA8-2016-E" as specified in Reference Joint Appendix JA8.	
Project Name: Residential Building Calculation Date/Time: 11:03, Mon, Nov 25, 2019 Page 2 of Input File Name: AhmedSohailUnit1Residence.ribd16x	Slab First Floor 1040 122.4 None 0.8 No Slab 2 Garage_ 255 74.8 None 0 No	HVAC DISTRIBUTION Duct	\$ 150.0(k)1H: Enclosed Luminaires. Light sources installed in enclosed luminaires must be JA8 compliant and must be marked with 'JA8-2016-E." § 150.0(k)2A: Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A. § 150.0(k)2B: Interior Switches and Controls. Exhaust fans must be switched separately from lighting systems."	
ENERGY DESIGN RATING Energy Design Rating (EDR) is an alternate way to express the energy performance of a building using a scoring system where 100 represents the energy performance of the Residential	Project Name: Residential Building Calculation Date/Time: 11:03, Mon, Nov 25, 2019 Page 6 of 8 Calculation Description: Title 24 Analysis Input File Name: AhmedSohailUnit1Residence.ribd16x	Location Heating Cooling Duct Location R-Value Status HVAC System (FF) Ducted Ducted Conditioned 6.0 New HVAC System (SF) Ducted Ducted Conditioned 6.0 New	§ 150.0(k)2C: Interior Switches and Controls. Luminaires must be switched with readily accessible controls that permit the luminaires to be manually switched ON and OFF. § 150.0(k)2D: Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions.	
the energy performance of a building that combines high levels of energy efficiency with renewable generation to "zero out" its TDV energy. Because EDR includes consideration of components not regulated by Title 24, Part 6 (such as domestic appliances and consumer electronics), it is not used to show compliance with Part 6 but may instead be used by local jurisdictions pursuing local ordinances under Title 24. Part 11 (CALGreen).	BUILDING ENVELOPE - HERS VERIFICATION	WATER HEATING	§ 150.0(k)2E: Interior Switches and Controls. No control must bypass a dimmer or vacancy sensor function if the control is installed to comply with § 150.0(k). § 150.0(k)2F: Interior Switches and Controls. Lighting controls must comply with the applicable requirements of § 110.9.	
As a Standard Design building under the 2016 Building Energy Efficiency Standards is significantly more efficient than the baseline EDR building, the EDR of the Standard Design building is provided for Information. Similarly, the EDR score of the Proposed Design is provided separately from the EDR value of installed PV so that the effects of efficiency and renewable energy can both be seen	Quality Insulation (QII) Quality Installation of Spray Foam Insulation Building Envelope Air Leakage CFM50 Not Required Not Required Not Required n/a	Qty. Type Gallons Min. Eff Distribution Status 1 Small Storage Gas 50 0.70 Standard New	Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with dimmer requirements if it: § 150.0(k)2G: functions as a dimmer according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the EMCS requirements of § 130.5(f); and meets all other requirements in § 150.0(k)2. Interior Switches and Controls. An EMCS may be used to comply with vacancy sensor requirements in § 150.0(k) if it meets all of the	
EDR of Standard Efficiency EDR of Proposed Efficiency EDR Value of Proposed PV + Battery Final Proposed EDR 50.8 50.7 0.0 50.7 Design meets Tier 1 requirement of 15% or greater code compliance margin (CALGreen A4.203.1.2.1) and QII verification prerequisite.	WATER HEATING SYSTEMS 01 02 03 04 05 06		§ 150.0(k)2H: following: it functions as a vacancy sensor according to § 110.9; the Installation Certificate requirements of § 130.4; the EMCS requirements of § 130.5(f); and all other requirements in § 150.0(k)2. Interior Switches and Controls. A multiscene programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it	
Design meets Tier 2 requirement of 30% or greater code compliance margin (CALGreen A4.203.1.2.2) and QII verification prerequisite. Design meets Zero Net Energy (ZNE) Design Designation requirement for Single Family in climate zone C23 (CALGreen A4.203.1.2.3) including on-site photovoltaic (PV) renewable energy generation sufficient to achieve a Final Energy Design Rating (EDR) of zero or less. The PV System and QII must be verified.	Name System Type Distribution Type Water Heater Number of Heaters Solar Fraction (%) DHW Sys 1 DHW Standard DHW Heater 1 (1) 1 .0%	EnergyPro 7.2 by EnergySoft User Number: 5581 ID: 1121201907 Page 11 of 17	2016 Low-Rise Residential Mandatory Measures Summary	
Notes: Excess PV Generation EDR Credit: Bypassing PV size limit may violate Net Energy Metering (NEM) rules REQUIRED SPECIAL FEATURES	WATER HEATERS 01 02 03 04 05 06 07 08 09 10 11 12 (nput Rating / Tank Standby	2016 Low-Rise Residential Mandatory Measures Summary	§ 150.0(k)2J: Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by a vacancy sensor. Interior Switches and Controls. Dimmers or vacancy sensors must control all luminaires required to have light sources compliant with Reference Joint Appendix JAB, except luminaires in closets less than 70 square feet and luminaires in hallways.	
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. • Floor has high level of insulation	Heater Element Name Type Tank Type of Units (gal) Heater (gal) Factor / Efficiency Effic	NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply. (Revised 04/2017)	§ 150.0(k)2L: Interior Switches and Controls. Undercabinet lighting must be switched separately from other lighting systems. Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (ON and OFF switch) and the requirements in either item	
Non-standard duct location (any location other than attic) HERS FEATURE SUMMARY The following is a summary of the features that excelled find the profile of the features that excelled find the features that excelled	DHW Heater 1 Gas Consumer 1 50 0.7 UEF <= 75 kBtu/hr R-0/R-0 0 80 gal n/a n/a	Building Envelope Measures: § 110.6(a)1: Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 cfm/ft² or less when tested per NFRC-400 or ASTM E283 or AAMA/WDMA/CSA 101/LS.2/A440-2011.*	§ 150.0(k)3A:i (photocell and motion sensor) or item § 150.0(k)3Aiii (photo control and automatic time switch control, astronomical time clock, or EMCS). Residential Outdoor Lighting For low-rise multifamily residential buildings, outdoor lighting for private patios, entrances, balconies,	
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail provided in the building components tables below Building-level Verifications: • IAQ mechanical ventilation	01 02 03 04 05 06 SC Sys Name System Type Heating Unit Name Cooling Unit Name Fan Name Distribution Name	§ 110.6(a)5: Labeling. Fenestration products must have a label meeting the requirements of § 10-111(a). § 110.6(b): Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from TABLES 110.6-A and 110.6-B for compliance and must be caulked and/or weatherstripped. Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked.	§ 150.0(k)3B: and porches, and outdoor lighting for residential parking lots and residential carports with less than eight vehicles per site must comply with either § 150.0(k)3A or with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, outdoor lighting not regulated by § 150.0(k)3B or § 150.0(k)3D must comply with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.	
Cooling System Verifications: None HVAC Distribution System Verifications: - Duct Sealing	HVAC System (FF)1 Other Heating and Cooling System Heating Component 1 Cooling Component 1 HVAC Fan 1 Air Distribution System 1 HVAC System (SF)2 Other Heating and Cooling System 2 Heating Component 2 Cooling Component 2 HVAC Fan 2 Air Distribution System 2	\$ 110.7: gasketed, or weather stripped. § 110.8(a): Insulation Certification by Manufacturers. Insulation specified or installed must meet Standards for Insulating Material. § 110.8(a): Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).	§ 150.0(k)3D: Residential Outdoor Lighting. Outdoor lighting for residential parking lots and residential carports with a total of eight or more vehicles per site must comply with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7, and 141.0. Internally illuminated address signs. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of	
Ducts located entirely in conditioned space confirmed by duct leakage testing Domestic Hot Water System Verifications: None	HVAC - HEATING UNIT TYPES 01 02 03 04	§ 110.8(i): Roofing Products Solar Reflectance and Thermal Emittance. The Ihermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) when the installation of a cool roof is specified on the CFTR. § 110.8(ii): Radiant Barrier. A radiant barrier must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.	§ 150.0(k)5: power as determined according to § 130.0(c). § 150.0(k)5: Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0. Interior Common Areas of Low-rise Multi-Family Residential Buildings. In a low-rise multifamily residential building where the total interior	
BUILDING - FEATURES INFORMATION 01 02 03 04 05 06 07	Name System Type Number of Units Efficiency Heating Component 1 CntrlFurnace 1 95 AFUE	Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in	§ 150.0(k)6A: common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the intenor common areas in that building must be high efficacy luminaires and controlled by an occupant sensor. Interior Common Areas of Low-rise Multi-Family Residential Buildings. In a low-rise multifamily residential building where the total interior	
Project Name Conditioned Floor Area (ft²) Number of Dwelling Units Number of Bedrooms Number of Zones Number of Ventilation Cooling Systems Heating Systems Residential Building 2265 1 4 2 0 1			© common area in a single building equals more than 20 percent of the floor area, permanently installed lighting in that building must: § 150.0(k)6B: i. Comply with the applicable requirements in §§ 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in comdors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.	
CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE WE I HOU Project Name: Residential Building Calculation Date/Time: 11:03, Mon, Nov 25, 2019 Page 3 of	input File Name: AhmedSohailUnit1 Residence, ribd16x	Above Grade Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less (R-19 in 2x6 or U-factor of 0.074 or less). Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102, equivalent to an installed value of R-13 in a wood framed assembly. 8 150 0(d): Raised-Roor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.*	CALLY TO VEND OF THE STATE OF T	
ZONE INFORMATION Input File Name: AhmedSohailUnit1Residence.ribd16x	HVAC - DISTRIBUTION SYSTEMS 01 02 03 04 05 06 07	§ 150.0(f): Slab Edge Insulation. Stab Edge insulation material alone without facings, no greater than 0.3%; have a water vapor permeance no greater than 2.0 perm/finch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).	requirements of § 110.10(b) through § 110.10(e). § 110.10(a)2: Low-rise Multi-family Buildings. Low-rise multi-family buildings must comply with the requirements of § 110.10(b) through § 110.10(d). Minimum Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke	
01 02 03 04 05 06 07	Name Type Duct Leakage Insulation R-value Duct Location Bypass Duct HERS Verification Air Distribution System 1 DuctsInAll Sealed and tested 6 Conditioned zone None 1-hers-dist	Vapor Retarder. In Climate Zones 1-16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d). Vapor Retarder. In Climate Zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.	ventilation, and spacing requirements as specified in Title 24, Part 9 or other Parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas	
First Floor Conditioned HVAC System (FF)1 1040 9 DHW Sys 1 Mater Heating System 1 Second Floor Conditioned HVAC System (SF)2 1225 8 DHW Sys 1 n/a	Air Distribution System 2 DuctsInAll Sealed and tested 6 Conditioned zone None Air Distribution System 2-hers-dist	§ 150.0(q): Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.* Fireplaces, Decorative Gas Appliances, and Gas Log Measures:	For single family residences the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less	
OPAQUE SURFACES 01 02 03 04 05 06 07 08	01 02 03 04 05 06 07 08 Duct Leakage Duct Leakage Verified Duct Verified Duct Buried Deeply Buried Low-leakage	§ 150.0(e)1A: Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox. Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and light-fitting damper or combustion-air control device.	than 15 percent of the total roof area of the building excluding any skylight area." § 110.10(b)2: Orientation. All sections of the solar zone located on steep-sloped roofs must be oriented between 110 degrees and 270 degrees of true north. Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment."	
Name Zone Construction Azimuth Orientation Gross Area (ft²) Window & Door Area (ft²) Tilt (deg West Wall First Floor R-15 Wall 270 Right 479.3 70 90 North Wall First Floor R-15 Wall 0 Front 40.5 9 90	Name Verification Target (%) Location Design Ducts Ducts Air Handler Air Distribution System 1-hers-dist Required 5.0 Required Not Req	§ 150.0(e)1C: Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. § 150.0(e)2: Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. § 150.0(e)2: Pilot Light. Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited.	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the generat point of the solar zone measured in the vertical plane.	
East Wall First Floor R-15 Wall 90 Left 379.4 37 90 South Wall First Floor R-15 Wall 180 Back 202.5 126 90	HVAC - FAN SYSTEMS 01 02 03 04	Space Conditioning, Water Heating, and Plumbing System Measures: § 110.0-§ 110.3: Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the Energy Commission.	Structural Design Loads on Construction Documents. For areas of the roof designated as solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents. Interconnection Pathways. The construction documents must indicate: a location for inverters and metering equipment and a pathway for live construction documents must indicate: a location for inverters and metering equipment and a pathway for live construction.	
Interior Surface Wall First Floor> Garage R-15 Wall n/a n/a 212.5 20 n/a	Name Type Fan Power (Watts/CFM) HERS Verification HVAC Fan 1 Single Speed PSC Furnace Fan 0.58 n/a HVAC Fan 2 Single Speed PSC Furnace Fan 0.58 a/a	§ 110.2(a): HVAC Efficiency. Equipment must meet the applicable efficiency requirements in TABLE 110.2-A through TABLE 110.2-K.* Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the	interconnection will be the main service panel); and a pathway for routing of plumbing from the solar zone to the water-heating system. Solar zone to the water-heating system. Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through \$ 110.10(c) must be provided to the occupant.	HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY
North Wall 2 Second Floor R-15 Wall 0 Front 144 32.5 90	IAQ (Indoor Air Quality) FANS	\$ 110.2(b): cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. Thermostats. All unitary heating or cooling systems not controlled by a central energy management control system (EMCS) must have a	§ 110.10(e)1: Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps. Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or	Project Name
Second Floor R-15 Wall 90 Left 500 43 90	Dwelling Unit	setback thermostat." Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(c)5.	main circuit location; and permanently marked as "For Future Solar Electric".	ENGINEERING CHECKS SYSTEM LOAD Number of Systems 1 COIL COOLING PEAK COIL HTG. PEAK
Raised Floor Second Floor R-30 Floor No Crawlspace n/a n/a 21 n/a n/a 1 Interior Surface Floor Second Floor>>First Floor R-0 Floor No Crawlspace n/a n/a 1040 n/a n/a 1040 Interior Surface Floor 2 Second Floor>> Garage R-30 Floor No Crawlspace1 n/a n/a 164 n/a	Nequired Vice	§ 110.3(c)7: Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBTU/hr (2 kW) must have isolation valves with hose bibbs or other fittings on both cold water and hot water lines of water heating systems to allow for water tank flushing when the valves are closed. Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (appliances without an electrical supply voltage connection with pilot lights that consume less than 150 8tu/hr are exempt); and pool and spa heaters.	HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY	Heating System
West Wall 3 _Garage_ R-0 Wall 270 Right 86.4 0 90 North Wall 3 _Garage_ R-0 Wall 0 Front 112.5 0 90	Project Name: Residential Building Calculation Date/Time: 11:03, Mon, Nov 25, 2019 Page 8 of 8 Input File Name: AhmedSohailUnit1Residence.ribd16x	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with ASHRAE Handbook, Equipment Volume Analizations Volume and Fundamentals Volume: SMACNA Residential Comfort System Installation Standards Manual: or ACCA	Project Name Date Ahmed, Sohail 11/25/2019 System Name Floor Area	Total Output (Btuh) 17,200 Return Vented Lighting 0
90 Left 186.8 0 90	DOCUMENTATION AUTHOR'S DECLARATION STATEMENT 1. I certify that this Certificate of Compliance documentation is accurate and complete.	2016 Low-Rise Residential Mandatory Measures Summary § 150.0(h)3A: Clearances. Installed air conditioner and heat pump outdoor condensing units must have a clearance of at least 5 feet from the outlet of any dryer vent. S 150.0(h)3A: Liquid Line Drier. Installed air conditioner and heat pump systems must be equipped with liquid line filter driers if required, as specified by	HVAC System (FF) 1,040 ENGINEERING CHECKS SYSTEM LOAD	Output per System 0 Ventilation 0 0 0 0 Total Output (Btuh) 0 Supply Fan 0 0 Total Output (Tons) 0.0 Supply Air Ducts 151 110
Calculation Description: Title 24 Analysis	I Marie Deriacco	s 150.0(i)1: manufacturer's instructions. Storage Tank Insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.	COM Consists Latest CEM Sensible	Total Output (Btuh/sqft) 0.0 TOTAL SYSTEM LOAD 14,469 420 9,576
FOPAQUE SURFACES - Cathedral Ceilings	NRG Compliance LP 11/25/2019 Address: PO Box 3777 CEA/HERS Certification Identification (If applicable)	Water piping and cooling system line insulation. For domestic hot water system piping, whether buried or unburied, all of the following must be insulated according to the requirements of TABLE 120.3-A. the first 5 feet of hot and cold water pipes from the storage tank; all piping with a nominal diameter of 3.44 inch or larger; all piping associated with a domestic hot water recirculation system regardless of the pipe diameter; piping from the heating source to storage tank or between tanks; piping buried below grade; and all hot water pipes from the heating source to	Output (Btuh/sqft) 16.5 Return Air Ducts 115	Air System 775 HVAC EQUIPMENT SELECTION Airflow (cfm) 775 Central Heating System 0 0 17,200
Name Zone Type Orientation Area (ft²) Skylight Area (ft²) Roof Roof Reflectance Roof Roof Reflectance Roof Roof Roof Roof Roof Roof Roof Ro	City/State/Zip: Phone 707-237-6957	kitchen fixtures." § 150.0(j)28: Water piping and cooling system line insulation. All domestic hot water pipes that are buried below grade must be installed in a water proof and non-crushable casing or sleeve." 8 150.0(i)26: Water piping and cooling system line insulation. Pipe for cooling system lines must be insulated as specified in § 150.0(j)2A. Distribution	Cooling System	Airflow (cfm/sqft) 0.63 Airflow (cfm/Ton) 0.0
Roof Second Floor R-38 Roof No Attic Front 1225 0 0 0.1 0.85 No Roof 2 Garage_ R-0 Roof Cathedral Front 91 0 0 0.1 0.85 No	RESPONSIBLE PERSON'S DECLARATION STATEMENT I certify the following under penalty of perjury, under the laws of the State of California: 1. Lam eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified so this Cartificate of Cartificate at Cartificate of Cartificate at	\$ 150.0(j)3: Steam and hydronic heating systems or hot water systems must meet the requirements in TABLE 120.3-A.* § 150.0(j)3: Insulation Protection. Insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Insulation Protection. Insulation exposed to weather must be installed with a cover suitable for outdoor service. For example, protected by	Total Output (Tons)	Outside Air (%) 0.0 % Total Adjusted System Output 0 0 17,200 Outside Air (cfm/sqft) 0.00 (Adjusted for Peak Design conditions) Note: values above given at ARI conditions TIME OF SYSTEM PEAK Aug 3 PM Jan 1 AM
FENESTRATION / GLAZING 01 02 03 04 05 06 07 08 09 10	I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	§ 150.0(j)3A: aluminum, sheet metal, painted canvas, or plastic cover. The cover must be water retardant and provide shielding from solar radiation that can cause degradation of the material. 8 150.0(j)3A: Insulation Protection. Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must have a	Air System	HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak)
Name Type Surface (Orientation-Azimuth) Width (ft) Height (ft) Multiplier (ft²) U-factor SHGC Exterior Shading Glass Block Window West Wall (Right-270) - 1 50.0 0.42 0.40 Insect Screen (default)	Responsible Designer Name: Mike Burgess Responsible Designer Signature: Mike Burgess	Class I or Class II vapor retarder: Gas or Propane Systems. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: a 120V electrical receptacle within 3 feet of the water heater, a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than 2 inches higher than the base of the	Airflow (cfm) 775 Central Heating System 0 0 17,200 Airflow (cfm/sqft) 0.75	Outside Air
Window Window North Wall (Front-0) 1 9.0 0.30 0.45 Insect Screen (default) Window 2 Window East Wall (Left-90) 1 37.0 0.30 0.45 Insect Screen (default) Window 3 Window South Wall (Back-180) 1 126.0 0.30 0.45 Insect Screen (default)	Company: Line & Space Date Signed: 11/25/2019 Address:	water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu/hr. § 150.0(n)2: Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5. Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification	Airflow (cfm/Ton)	0 cfm Supply Fan Heating Coil 115 % ROOM
Window 4 Window West Wall 2 (Right-270)	875A Island Drive #221 City/State/Zip: Phone:	Corporation (SRCC) or by a listing agency that is approved by the Executive Director. Ducts and Fans Measures: \$ 110.8(d)3: Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a	Note: values above given at ARI conditions TIME OF SYSTEM PEAK Aug 3 PM Jan 1 AM HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak)	68 °F
Window 6 Window North Wall 2 (Front-0)	Alameda, CA 94502 (650) 690-4951	contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement. CMC Compliance. All air-distribution system ducts and plenums must be installed, sealed, and insulated to meet the requirements of CMC §§ 601.0, 602.0, 603.0, 604.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions		COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak)
Window 9 Window South Wall 2 (Back-180) 1 126.0 0.30 0.45 Insect Screen (default) OPAQUE DOORS		of supply-air and return-air ducts and plenums must be insulated to a minimum installed level of R-5.0 (or higher if required by CMC § 605.0) or a minimum installed level of R-4.2 when entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 1814, or UL 1818 or aerosol sealant that	0 cfm Supply Fan Heating Coil 115 °F	84/64°F 75/61°F 75/61°F 55/53°F
01 02 03 04 Name Side of Building Area (tt²) U-factor Door Most Moll Area (tt²) U-factor		meets the requirements of UL 723. If mastic or tape is used to seal openings greater than ¼ inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause reductions in the cross-sectional area of the ducts.		Outside Air 0 cfm Supply Fan Cooling Coil 55 / 53 °F
Door 2 Mest Wall 20.0 0.50	Digitally signed by CHEERS™. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.	Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.		775 cfm 43.7 % ROOM 75/61 °F
1 200	Registration Number: 419-P010130145A-000-000-00000 Registration Date/Time: 11/25/2018 17:02 HERS Provider: CHEERS CA Building Energy Efficiency Standards - 2016 Residential Compliance Report Version - CF1R-01162019-1149 Registration Date/Time: 11/25/2018 17:02 HERS Provider: CHEERS Report Generated at: 2019-11-25 11:04:10	§ 150.0(m)3: Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction. Backdraft Dampers. All fan systems that exchange air between the conditioned space and the outside of the building must have backdraft or automatic dampers.	COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak) 84 / 64 °F	
		§ 150.0(m)8: Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents. Protection of Insulation. Insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and	Outside Air Supply Fan Cooling Coil 557/53 °F	
Régistration Number: 419-P010130145A-000-000-00000 Registration Date/Time: 11/25/2019 17:02 HERS Provider: CHEERS CA Building Energy Efficiency Standards - 2016 Residential Compliance Report Version - CF1R-01162019-1149 Report Generaled at: 2019-11-25-11/04-10		§ 150.0(m)9: wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation. § 150.0(m)10: Porous Inner Core Flex Duct. Porous inner core flex duct must have a non-porous layer between the inner core and outer vapor barrier.	775 cfm 43.5 % ROOM	
Report Generated at: 2019-11-25.11;04:10		Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)11 and Reference Residential Appendix RA3.	75/61°F	
		Air Filtration. Mechanical systems that supply air to an occupiable space through ductwork exceeding 10 feet in length and through a thermal conditioning component, except evaporative coolers, must be provided with air filter devices that meet the design, installation, efficiency, pressure drop, and labeling requirements of § 150.0(m)12.		₫!

RESIDENTIAL MEASURES SUMMARY

UT IN-TRE-VI

Ahmed, Sohail

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE MICHIOL

WITH THE CENTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

2016 Low-Rise Residential Mandatory Measures Summary

RMS-1

Building Type ☑ Single Family ☐ Addition Alone ☐ Date ☐ Multi Family ☐ Existing+ Addition/Alteration ☐ 11/25/2019

Duct System Sizing and Air Filter Grille Sizing. Space conditioning systems that use forced air ducts to supply cooling to an occupiable space must have a hole for the placement of a static pressure probe (HSPP), or a permanently installed static pressure probe (PSPP) in the supply plenum. The space conditioning system must also demonstrate airflow ≥ 350 CFM per ton of nominal cooling capacity through the return

grilles, and an air-handling unit fan efficacy < 0.58 W/CFM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.3. This applies to both single zone central forced air systems and every zone for zonally controlled central

HERS Provider: CHEERS Registration Number: 419-P010130163A-000-000-000000-0000 Registration Date/Time: 11/25/2019 17:02 Report Generated at: 2019-11-25 11:10:23 CA Building Energy Efficiency Standards - 2016 Residential Compliance Report Version - CF1R-01162019-1149

Wall Wood Door Opaqu	et - Unit 2 O N on Type Framed w/o Crawl	akland	Build	ling Type fornia Ene A Clima	□ Multi Fan rgy Climate Zon ate Zone 03 Area	e Total Cond. Flo	+ Addition/Alteration oor Area Addition 5 n/a	Date 11/25/20 # of Un
Project Address 1435 9th Stre INSULATIO Constructio Floor Wood Wall Wood Door Opegu	et - Unit 2 O N On Type Framed w/o Crawl Framed ue Door		Cav	A Clima	ate Zone 03 Area	1,22	5 n/a	# of Un
INSULATIO Constructio Floor Wood Wall Wood Door Opequ	Type Framed w/o Crawl Framed ue Door		Cav	A	Area			1
Floor Wood Wall Wood Door Opequ	Framed w/o Crawl Framed v/o Crawl Framed ue Door	l Space				2015/1200		
Floor Wood Wall Wood Door Opaqu	Framed w/o Crawl Framed ue Door	I Space		rity				Section .
Wall Wood Door Opaqu	Framed ue Door	I Space	B 38			Special Fea	tures	Status
Door Opaqu	ue Door		R 15		1,225			New
				and the same	1,576		_	New
Roor Wood	гатеа Ашс		- no in:	sulation	1,225			New
FENESTRA	TION	Tuescocc	200	laca e	E X	22.7.86		0.30
Orientation		U-Fac	SHGC	Overh	Percentage:		ered Average U-Factor.	Status
Right (W)	76.3	0.300	0.45	none	none			New
Right (NW)	10.0	0.300	0.45	none	none	Bug So		New
Front (N)	25.0	0.300	0.45	none	none			New
Front (NE)	10.0	0.300	0.45	none	none	7.77		New
Left (E)	43.0	0.300	0.45	none	none	Bug So	creen	New
Rear (S)	126.0	0.300	0.45	none	none	Bug Sc	creen	New
HVAC SYS								
Qty. Heati	ing	Min, E		ooling		lin. Eff	Thermostat	Status
Qty. Heati		Min. E 95% AF		ooling Caoling		lin. Eff 4.0 SEER	Thermostat Selback	Status New
Qty. Heati	Furnace RIBUTION		UE No			4.0 SEER		

EnergyPro 7.2 by EnergySoft User Number: 558

deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).

Vapor Retarder. In Climate Zones 1-16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. The requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d). Vapor Retarder. In Climate Zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation. nestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a § 150.0(q): maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58. Fireplaces, Decorative Gas Appliances, and Gas Log Measures: Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in are § 150.0(e)1B: and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device." Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible contri Pilot Light. Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of § 150.0(e)2: the building, are prohibited. Space Conditioning, Water Heating, and Plumbing System Measures: Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the Energy Commission." HVAC Efficiency. Equipment must meet the applicable efficiency requirements in TABLE 110.2-A through TABLE 110.2-K. Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heater must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. rmostats. All unitary heating or cooling systems not controlled by a central energy management control system (EMCS) must have a Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § solation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBTU/hr (2 kW) must have isolation valves with hose bibbs 6 110.3(c)7: or other fittings on both cold water and hot water lines of water heating systems to allow for water tank flushing when the valves are closed. Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (appli ances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt); and pool and spa heaters Volume, Applications Volume, and Fundamentals Volume; SMACNA Residential Comfort System Installation Standards Manual; or ACCA Clearances. Installed air conditioner and heat pump outdoor condensing units must have a clearance of at least 5 feet from the outlet of any § 150.0(h)3A: Liquid Line Drier. Installed air conditioner and heat pump systems must be equipped with liquid line filter driers if required, as specified by Storage Tank insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have § 150.0(j)1: R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank. Water piping and cooling system line insulation. For domestic hot water system piping, whether buried or unburied, all of the following mu be insulated according to the requirements of TABLE 120.3-A: the first 5 feet of hot and cold water pipes from the storage tank; all piping with a nominal diameter of 3/4 inch or larger, all piping associated with a domestic hot water recirculation system regardless of the pipe diameter piping from the heating source to storage tank or between tanks; piping buried below grade, and all hot water pipes from the heating source to Water piping and cooling system line insulation. All domestic hot water pipes that are buried below grade must be installed in a water proc § 150.0(i)2B: and non-crushable casing or sleeve." Water piping and cooling system line insulation. Pipe for cooling system lines must be insulated as specified in § 150.0(j)2A. Distribution piping for steam and hydronic heating systems or hot water systems must meet the requirements in TABLE 120.3-A." Insulation Protection. Insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind Insulation Protection. Insulation exposed to weather must be installed with a cover suitable for outdoor service. For example, protected by § 150.0(j)3A: aluminum, sheet metal, painted canvas, or plastic cover. The cover must be water retardant and provide shielding from solar radiation that can cause degradation of the material. sulation Protection. Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must have § 150.0(j)3B: class for Class II vapor retarder. Gas or Propane Systems. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: a 120V electrical receptacle within 3 feet of the water heater; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than 2 inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu/hr. Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5. Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC) or by a listing agency that is approved by the Executive Director. Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement. CMC Compliance. All air-distribution system ducts and plenums must be installed, sealed, and insulated to meet the requirements of CMC §§ 601.0, 602.0, 603.0, 604.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition, Portion of supply-air and return-air ducts and plenums must be insulated to a minimum installed level of R-6.0 (or higher if required by CMC § 605.0) or (RA3.1.4.3.8). Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause reductions in the cross-sectional area of the ducts. pry-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct constru connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands. ield-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction. Backdraft Dampers. All fan systems that exchange air between the conditioned space and the outside of the building must have backdraft or § 150.0(m)7: Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, § 150.0(m)8: manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents. Protection of Insulation. Insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted carryas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from § 150.0(m)10: Porous Inner Core Flex Duct. Porous inner core flex duct must have a non-porous layer between the inner core and outer vapor barrier. Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)11 and Reference Residential Appendix RA3. Air Filtration. Mechanical systems that supply air to an occupiable space through ductwork exceeding 10 feet in length and through a thermal pressure drop, and labeling requirements of § 150.0(m)12. 2016 Low-Rise Residential Mandatory Measures Summary

2016 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach

Insulation Certification by Manufacturers. Insulation specified or installed must meet Standards for Insulating Material

material must meet the requirements of § 110.8(i) when the installation of a cool roof is specified on the CF1R.

Loose-fill Insulation, Loose fill insulation must meet the manufacturer's required density for the labeled R-value.

Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor

Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g)

Radiant Barrier. A radiant barrier must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.

Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 cfm/ft² or less when tested per

Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHSC) values from TABLES

Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked.

Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing

Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.04:

Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached

insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in

direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limite

Above Grade Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less (R-19 in 2x6 or U-

factor of 0.074 or less). Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102, equivalent to an installe

Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone withou

facings, no greater than 0.3%; have a water vapor permeance no greater than 2.0 perm/inch; be protected from physical damage and UV light

used. Review the respective section for more information. *Exceptions may apply.

gasketed, or weather stripped.

value of R-13 in a wood framed assembly."

NFRC-400 or ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.

Labeling. Fenestration products must have a label meeting the requirements of § 10-111(a).

110.6-A and 110.6-B for compliance and must be caulked and/or weatherstripped."

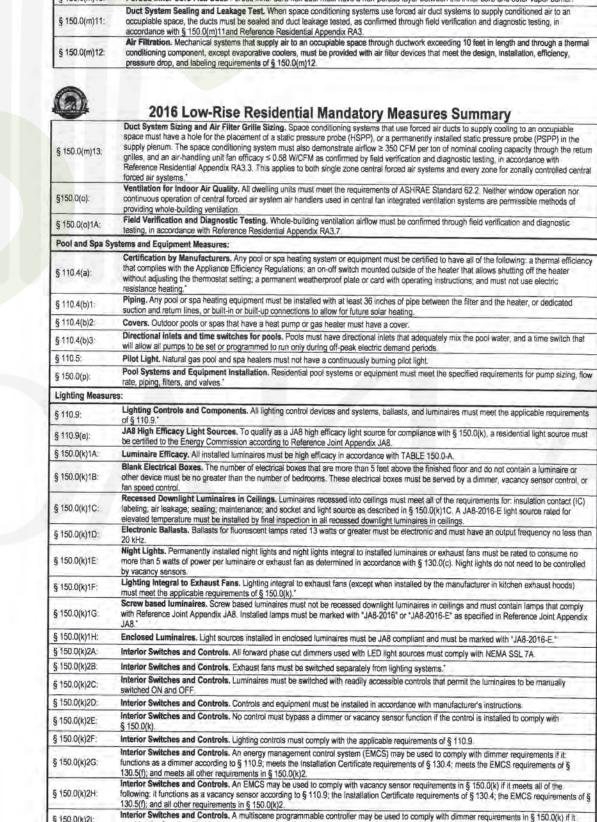
to placing insulation either above or below the roof deck or on top of a drywall ceiling."

(Revised 04/2017)

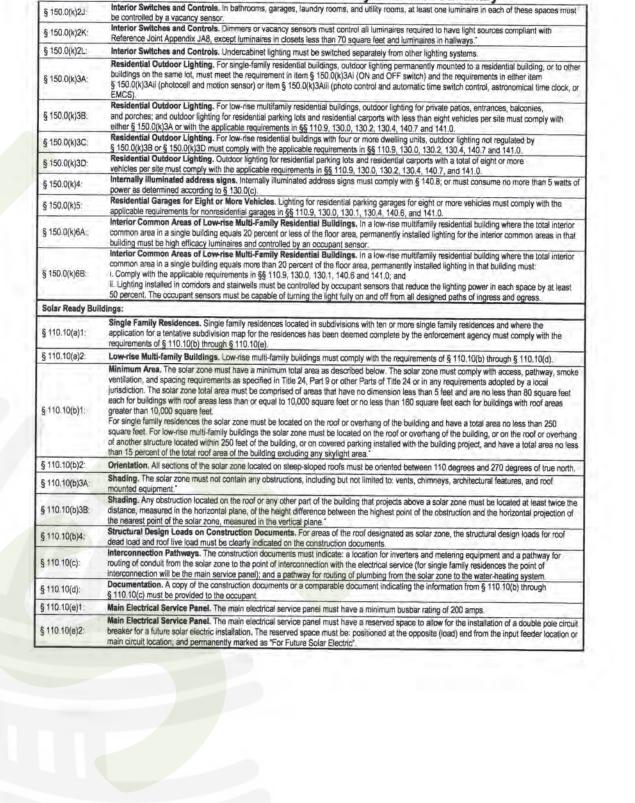
110.6(a)1

§ 150.0(f):

Building Envelope Measures:



provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.



HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

SYSTEM LOAD

Total Room Loads

Return Air Ducts

Supply Air Ducts

TOTAL SYSTEM LOAD

HVAC EQUIPMENT SELECTION

75 Central Heating System w/o AC

0.0 % Total Adjusted System Output

EATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating

DOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak)

76 / 61 °F 76 / 61 °F 55 / 53 °F

775 cfm

Supply Fan Heating Coil

775 cfm

(Adjusted for Peak Design conditions)

TIME OF SYSTEM PEAK

Return Fan

Return Vented Lighting

11/25/2019

1,225

COIL COOLING PEAK COIL HTG. PEAK

ROOM

ROOM

CFM Sensible Latent CFM Sensible

Ahmed Sohail

HVAC System

Heating System

ENGINEERING CHECKS

Output per System

Output (Btuh/sqft)

Output per System

Total Output (Tons)

Total Output (Btuh/sqft)

Total Output (sqft/Ton)

Cooling System

Air System

67 °F

-

Outside Air

CFM per System

Airflow (cfm)

Airflow (cfm/sqft)

Airflow (cfm/Ton)

Outside Air (%)

Outside Air (cfm/sqft)

Note: values above given at ARI conditions

67 °F

Total Output (Btuh)

Number of Systems

System Name

2016 Low-Rise Residential Mandatory Measures Summary

Registration Number: 419-P010130163A-000-000-000000-0000 Registration Date/Time: 11/25/2019 17:02 CA Building Energy Efficiency Standards - 2016 Residential Compliance Report Version - CF1R-01162019-1149

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name | Residential Building

Building Type Single Family

This building incorporates one or more Special Features shown below

LEKTHICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Excess PV Generation EDR Credit: Bypassing PV size limit may violate Net Energy Metering (NEM) rules

onditioned Floor Area (ft2)

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Zone Type

Construction

Window

Window

Window

Window

Surface Type

Attic Roofs

Wood Framed Cellin

Wood Framed Floor

Wood Framed Wall

Wood Framed Ceiling

Window

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Attic RoofThird Floor

Conditioned

Zone

Third Floor

Third Floor

Third Floor

Third Floor

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

jurisdictions pursuing local ordinances under Title 24, Part 11 (CALGreen).

Standard Design

Project Scope

Slab Area (ft2)

Building Complies with Computer Performance

Addition Cond. Floor Area(ft2)

Energy Use (kTDV/ft2-y)

Space Heating

Space Cooling

Water Heating

Compliance Energy Total

Project Name: Residential Building

energy can both be seen

REQUIRED SPECIAL FEATURES

Ceiling has high level of insulation
 Floor has high level of insulation

HVAC Distribution System Verifications

Residential Building

ZONE INFORMATION

OPAQUE SURFACES

Zone Name

Third Floor

Name

Northwest Wall

North Wal

East Wall

South Wall

Raised Floor

ENESTRATION / GLAZING

Window

Window 2

Window 3

Window 6

OPAQUE DOORS

Project Name: Residential Building

PAQUE SURFACE CONSTRUCTIONS

Construction Name

R-38 Floor No Crawlspace

R-38 Roof Attic

Name

Quality Insulation Installation (QI

(Calculation Description: Title 24 Analysis

Project Name: Residential Building

Calculation Description: Title 24 Analysis

Domestic Hot Water System Verifications:

vided in the building components tables below

HERS FEATURE SUMMARY

Building-level Verifications:

IAQ mechanical ventilation Cooling System Verifications

Duct Sealing

-- None --

Calculation Description: Title 24 Analysis

Addition Slab Area (ft2) N/

Calculation Description | Title 24 Analysis

Project Name: Residential Building

GENERAL INFORMATION

COMPLIANCE RESULTS

Calculation Description: Title 24 Analysis

HERS Provider, CHEERS Report Generated at 2019-11-25 11:10:23

OF INTERIOR

Percent Improvement

0.5%

LF IN-FRF-UI

Page 2 of 7

Page 3 of 7

Page 4 of 7

U-factor

Page 1 of 7

Calculation Date/Time: 11:09, Mon, Nov 25, 2019

15

This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.

Proposed Design

1.66

35.92

ENERGY DESIGN RATING

As a Standard Design building under the 2016 Building Energy Efficiency Standards is significantly more efficient than the baseline EDR building, the EDR of the Standard Design building

Design meets Zero Net Energy (ZNE) Design Designation requirement for Single Family in climate zone CZ3 (CALGreen A4.203.1.2.3) including on-site photovoltaic (PV) renewable energy generation sufficient to achieve a Final Energy Design Rating (EDR) of zero or less. The PV System and QII must be verified.

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail

Number of Bedrooms Number of Zones

Calculation Date/Time: 11:09, Mon. Nov 25, 2019

Input File Name: AhmedSohailUnit2Residence.ribd16x

Cooling Systems

Zone Floor Area Avg. Ceiling (ft²) Height Water Heating System 1 Water Heating System 2

Azimuth Orientation Gross Area (ft²) Window & Door Area (ft²) Tilt (deg)

1225 11 DHW Sys 1

- specify - 33

45 - specify - 33

180 Back 247.5 n/a n/a 1225

04 05 06 07

Roof Rise Roof Reflectance Roof Emittance Radiant Barrier

04 05 06 07 08 09

Calculation Date/Time: 11:09, Mon, Nov 25, 2019

R 15

Side of Building

North Wall

2x4 @ 24 in. O.C.

2x12 @ 16 in. O.C.

2x4 @ 16 in. O.C

2x4 @ 24 in. O.0

Input File Name: AhmedSohailUnit2Residence.ribd16x

Total Cavity Winter Design R-value U-factor

Building Envelope Air Leakage

Not Required

Water Heater

0.028

5 0.1 0.85 Yes No

--- 1 76.3 0.30 0.45 Insect Screen (default)

--- 1 10.0 0.30 0.45 Insect Screen (default)

- 1 10.0 0.30 0.45 Insect Screen (default) - 1 25.0 0.30 0.45 Insect Screen (default)

Area (ft2)

Cavity / Frame: no insul. / 2x4

Cavity / Frame: R-38 / 2x12

Inside Finish: Gypsum Board

Cavity / Frame: R-9.1 / 2x4

Number of Heaters

Over Ceiling Joists: R-28.9 insul

Cavity / Frame: R-15 / 2x4 Exterior Finish: Wood

Roofing: Light Roof (Asphall Shingle)

Floor Deck: Wood Siding/sheathing/decking

n/a n/a 1225

Front 198

Right 687.5

Energy Design Rating (EDR) is an alternate way to express the energy performance of a building using a scoring system where 100 represents the energy performance of the Residential

Energy Services (RESNET) reference home characterization of the 2006 International Energy Conservation Code (IECC) with California modeling assumptions. A score of zero represents the energy performance of a building that combines high levels of energy efficiency with renewable generation to zero out" its TDV energy. Because EDR includes consideration of

components not regulated by Title 24, Part 6 (such as domestic appliances and consumer electronics), it is not used to show compliance with Part 6 but may instead be used by local

is provided for Information. Similarly, the EDR score of the Proposed Design is provided separately from the EDR value of installed PV so that the effects of efficiency and renewable

Design meets Tier 1 requirement of 15% or greater code compliance margin (CALGreen A4.203.1.2.1) and QII verification prerequisite.

Design meets Tier 2 requirement of 30% or greater code compliance margin (CALGreen A4.203.1.2.2) and Qll verification prerequisite.

Number of Dwelling

HVAC System Name

HVAC System1

R-15 Wall

R-15 Wall

R-15 Wall

R-38 Roof Attic

Ventilated

Surface (Orientation-Azimuth

West Wall (Right-270)

Northeast Wall (- specify -45)

East Wall (Left-90)

South Wall (Back-180)

Northwest Wall (- specify -315

Calculation Date/Time: 11:09, Mon, Nov 25, 2019

Input File Name: AhmedSohailUnit2Residence.ribd16x

Input File Name: AhmedSohailUnit2Residence.ribd16x

Standards Version Compliance 2017

Software Version | EnergyPro 7.2

Number of Zones

Number of Stories

Natural Gas Available

Compliance Margin

0.19

Compliance Manager Version | BEMCmpMgr 2016.3.1 (1149)

FAX (510) 238-6538

TDD (510) 238-3254

City Council District:

Dear Applicant,

Your application, as described below, has been APPROVED for the reasons stated in Attachment A, which contains the is effective ten (10) days after the date of this letter unless appealed as explained below.

The following table summarizes the	
Proposal:	Abatement of Code Enforcement Case(s) 1204502 & 1604097 to restore, repair and remodel an existing fire damage two-story duplex. Project includes the raising of the existing basement to create a new ground floor. Results in a three-story duplex.
Planning Permits Required:	Regular Design Review to move the existing building from the adjacet parcel. Raise the building 4' to create a new ground floor garage and additional floor area. Minor Variance to raise the building within the required side yard setbacks. Minor Conditional Use Permit to allow 35 height limit.
General Plan:	Mixed Housing Type Residential
Zoning:	RM-2 Mixed Housing Type Residential 2 Zone
Environmental Determination:	Exempt, Section 15301 of the State CEQA Guidelines:
	Existing facilities; Section 15303 of the State CEQA Guidelines; New Construction of small structures; Section 15183 of the State CEQA Guidelines: Projects Consistent with a Community Plan, General Plan Zoming
Historic Status:	Area of Primary Importance (API): Oakland Point (ICUS Parious CL)

If you, or any interested party, seeks to challenge this decision, an appeal must be filed by no later than ten calendar (10) days from the date of this letter, by 4:00 pm on July 1, 2019. An appeal shall be on a form provided by the Bureau of Planning of the Planning and Building Department, and submitted to the same at 250 Frank H. Ogawa Plaza, Suite 2114, to the attention of Jose M. Herrera-Preza, Planner III. The appeal shall state specifically wherein it is claimed there was

error or abuse of discretion by the Zoning Manager or wherein his/her decision is not supported by substantial evidence and must include payment of \$1622,57 in accordance with the City of Oakland Master Fee Schedule. Failure to timely appeal will preclude you, or any interested party, from challenging the City's decision in court. The appeal itself must raise each and every issue that is contested, along with all the arguments and evidence in the record which supports the basis of the appeal; failure to do so may preclude you, or any interested party, from raising such issues during the appeal and/or in court. However, the appeal will be limited to issues and/or evidence presented to the Zoning Manager prior to the close of the previously noticed public comment period on the matter.

A signed Notice of Exemption (NOE) is enclosed certifying that the project has been found to be exempt from CEQA review. It is your responsibility to record the NOE and the Environmental Declaration at the Alameda County Clerk's office at 1106 Madison Street, Oakland, CA 94612, at a cost of \$50.00 made payable to the Alameda County Clerk. Please bring the original NOE related documents and five copies to the Alameda County Clerk, and return one date stamped copy to the Bureau of Planning, to the attention of Jose M. Herrera-Preza, Planner II. Pursuant to Section 15062(d) of the California Environmental Quality Act (CEQA) Guidelines, recordation of the NOE starts a 35-day statute of limitations on court challenges to the approval under CEQA.

If you have any questions, please contact the case planner, Jose M. Herrera-Preza, Planner II at (510) 238-3808 or jherrera@oaklandca.gov, however, this does not substitute for filing of an appeal as described above.

cc: Oakland Heritage Alliance: Christopher Buckley; cbuckley@att.net & Naomi Schiff: naomi@17th.com

B. Conditions of Approval, including Standard Conditions of Approvals

ATTACHMENT A: FINDINGS

This proposal meets all the required findings under the <u>Conditional Use Permit Criteria and Variance findings listed in Sections.</u> 17, 134,050 and 17,134,050A; and <u>Design Review Criteria 17,136,070A of the Oakland Planning Code (OMC Citle 17)</u> as set forth below and which are required to approve your application. Required findings are shown in **bold** type; easons your proposal satisfies them are shown in normal type.

SECTION 17.136.050.A - REGULAR DESIGN REVIEW CRITERIA:

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in heir setting, scale, bulk, height, materials, and te

The proposal is to restore the exterior façade of the two-story Italianate duplex, move the existing building currently over the northern interior property line) to within 4" of the interior property line to north and 2'-6" to southern property line, raise the basement area four feet to create a nine-foot ground floor level and repair and

The subject property is a mid-block parcel with from age on 9th Street in one of the oldest residential areas of the City, two blocks from the West Oakland BART Station. The parcel is located within the "Oakland Point" national register historic district, which is an Area of Primary Importance (API) per the Office of Cultural Survey. The esidential district contains intact Victorian, craftsman and some Edwardian Style multifamily homes. The homes in the district generally have distinct, walk-up entrances, porches, false fronts, vertically hung windows, gable roofs, horizontal wood siding and bay windows. The project was reviewed by the office of Cultural Preservation and Oakland Heritage Alliance, and the project incorporated the most notable design recommendations.

The proposed three-story design is intended to resemble the historic vocabulary of the existing two-story falianate style architecture. Specifically, the new upper-stories will maintain the massing, rhythm, compospatterns of openings, quality of materials and intensity of detailing as the original building. Details such as the hip roof, wide comice with brackets, molded window caps, porch roof brackets, bay window with inset wood panels and decorative wood work will be maintained. The proposed street fronting elevation reflects the characte f the district by incorporating a distinct raised porch and walk-up, symmetrical bay window projection with large single hung windows, and architectural detailing such as water table fin and horizontal siding. The street facing façade further incorporates and restores decorative wood work at the existing and proposed bay windows and porch roof details. The interior side and rear elevations incorporates wood (smooth finish) siding, with decorative wood railings along the deck at the rear. The street elevation maintains a 35-foot building height which is consistent with the neighboring residence. Finally, the building is sited to create a consistent front yard setback along the street.

A new 9' wide curb cut for a new driveway will limit the amount of curb cuts on 9th Street and maintain the

For the reasons described above, the building is well related to adjacent residences and the overall neighborhood. 2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics; The proposed dwelling will enhance an area of West Oakland that is developed with low density family dwellings of a similar size and scale. The proposal has considered the character of other properties in the neighborhood that

incorporate front porch patterns, similar front setbacks, pattern of openings, and other architectural elements such

as roofs and eaves, exterior siding, bay projections and single hung windows to enhance the neighborhood characteristics of the "Oakland Point" API. (see Finding #1).

3. That the proposed design will be sensitive to the topography and landscape.

Grading will be minimal due to the flatness of the lot. There is no significant landscaping on the site.

4. That, if situated on a bill, the design and massing of the proposed building relates to the grade of the hill. This criterion is not applicable to this proposal.

5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

The property is in the Mixed Housing Type Residential designation of the General Plan. The intent of the zone is: "to create, maintain, and enhance residential areas typically located near the City's major arterials and characterized by a mix of single family homes, townhouses, small multi-unit buildings, and neighborhood usinesses where appropriate." Desired Character and Uses is: "Future development within this classification should be primarily residential in character." The proposed design to restore a fire damaged duplex and site improvements is, therefore, consistent with the intent and desired character and uses of the General Plan as well as the following Policies:

Policy N3.2 Encouraging Infill Development.

In order to facilitate the construction of needed housing units, infill development that is consistent with the General Plan should take place throughout the City of Oakland.

Policy N3.8 Required High-Quality Design

ligh-quality design standards should be required of all new residential construction. Design requirements and permitting procedures should be developed and implemented in a manner that is sensitive to the added costs of

Policy No.1 Mixing Housing Types. he City will generally be supportive of a mix of projects that provide a variety of housing types, unit sizes, and lot sizes which are available to households with a range of incomes.

Policy N7.1 Ensuring Compatible Development. ew residential development in Mixed Housing Type areas should be compatible with the density, scale, design, and existing or desired character of surrounding development.

The proposal is a residential in-fill development project that enhances a potentially designated historic property

SECTION 17.134.050 - GENERAL USE PERMIT CRITERIA:

A. That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the

onal Use Permit to allow a residential building height of 35° in the RM-2 zone, when the property is in West Onkland. The subject property is an interior, 3,000-square foot parcel with frontage onto 9th Street near Mandela Parkway. The proposal will raise the existing two-story residential duplex (20' wall height and 26' to roof ridge) 9' to create a new ground floor garage and additional floor area. The resulting building and site design configuration will reflect the rhythm of two adjacent buildings along the block face of 9th Street. The two adjacent buildings are over 30' in height and the neighborhood context consists of multi-story, multi-family buildings reflective of the "Oakland Point" Area

The proposed building height is appropriate because there are several buildings of similar heights in the neighborhood and the design of the house complements other homes in the area (see Design Review findings, below). B. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.

The proposed development allows the site to be developed within the prescribed RM-2 density and allows for the the 9th Street block face with a design aesthetic that a complement surrounding buildings and that is compatible with the neighborhood character. Included in the project are substantial site improvements such as right-of-way improvements, curb art and driveway approaches. The design aesthetic will complement the surrounding historic buildings and historic district through the incorporation of individual porch and entrances, bays and gable roof

That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or regi

The project will enhance the existing site with attractive improvements and provide much rehabilitation of a historic building. ect will enhance the multi-family residential district in a mixed density residential peiobhorhood D. That the proposal conforms to all applicable design review criteria set forth in the design eview procedure at Section 17.136.070.

The proposal conforms to all significant aspects of the Design Review criteria set forth in Chapter 17.136 of the Oakland

E. That the proposal conforms in all significant respects with the Oakland Comprehensive Plan and with any other applicable plan or development control map which has been adopted by the City Conneil. See Conditional Use Findings, above.

Section 17.148.050A Minor Variance findings required:

1. That strict compliance with the specified regulation would result in practical difficulty or unnecessary hardship inconsistent with the purposes of the Zoning Regulations, due to unique physical or topographical circumstances or conditions of design; or, as an alternative in the case of a Minor Variance, that such strict compliance would preclude an effective design solution improving the livability,

The existing structure currently encroaches onto the neighboring property at 1439 9th Street. The proposal will

relocate the section of the structure encroaching and relocate it onto the subject property. The requested Variance will allow the project to continue the existing non-conforming side yard setbacks of 2'-6" along the Southern interior side and 4" along the Northern interior side property line (O.P.C. Sec. 17.17.050) by raising the building The subject property is a 3,000-square foot lot containing a two-story duplex. The existing building contains a legal non-conforming side yard setback of 2'-6" and 4", where 3' is required. The site is only 25-feet wide and the existing building is 22'-6" wide, therefore, strict compliance of the code would preclude historic restoration. Due to the unique physical constraints that a small parcel in an urban area creates, the proposal provides an effective design solution that allows the residence to expand without significantly affecting the adjacent

That strict compliance with the regulations would deprive the applicant of privileges enjoyed by owners of similarly zoned property; or, as an alternative in the case of a Minor Variance, that such strict compliance would preclude an effective design solution fulfilling the basic intent of the applicable

neighbors. Further, the proposed front, side and rear yard setbacks will be consistent with the setbacks of the

As stated in finding #1, the preservation and restoration of a historic building and rectifying an encroaching building footprint will relate to the design context of the neighborhood. This outcome is consistent with the basic

3. That the variance, if granted, will not adversely affect the character, livability, or appropriate development of abutting properties or the surrounding area, and will not be detrimental to the public welfare or The project has been designed to enhance the surrounding residential neighborhood by saving a historic remnant, minimizing curb cuts, and incorporating permanent landscape features.

4. That the variance will not constitute a grant of special privilege inconsistent with limitations imposed on similarly zoned properties or inconsistent with the purposes of the Zoning Regulations.

The requested Variance would not constitute a grant of special privilege and is consistent with the purpose of the zoning regulation. Based on the current pattern of development, the scope of the project meets all applicable zoning regulations except for the building side yard setbacks. As described above, the Variance will not increase the level of encroachment into the setback because the structure will be raised within the existing building footprint. Continuation of the setbacks is required to fit into the design context of the neighborhood. This outcome is consistent with the purposes of the Zoning Ordinan

5. That the elements of the proposal requiring the variance (e.g., elements such as buildings, walls, fences, driveways, garages and carports, etc.) conform with the Regular Design Review criteria set forth in the Design Review Procedure at Section 17.136.050;

The proposal meets all the Regular Design Review Criteria, as shown above. 6. That the proposal conforms in all significant respects with the Oakland General Plan and with any other

housing resources in order to meet the current and future needs of the Oakland community.

The proposal conforms to all significant aspects of the Mixed Housing Type Residential General Plan Land Use classification including Objective N3 which encourages the construction, conservation, and enhancement of

pplicable guidelines or criteria, district plan, or development control map which have been adopted by

Encouraging Housing Development

the Planning Commission or City Council.

areas through regulatory and fiscal incentives, assistance in identifying parcels that are appropriate for new development, and other measures.

7. For proposals involving one or two residential dwelling units on a lot: That, if the variance would relax a egulation governing maximum height, minimum yards, maximum lot coverage or maximum floor area ratio, the proposal also conforms with at least one of the following additional criteria:

a. The proposal when viewed in its entirety will not adversely impact abutting residences to the side, rear, or directly across the street with respect to solar access, view blockage and privacy to a degree greater than that which would be possible if the residence were built according to the applicable regulation and, for height variances, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height; or

b. Over sixty (60) percent of the lots in the immediate vicinity are already developed and the proposal does not exceed the corresponding as-built condition on these lots and, for height variances, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height. The immediate context shall consist of the five closest lots on each side of the project site plus the ten closest lots on the opposite side of the street (see illustration I-4b); however, the Director of City Planning may make an alternative determination of immediate context based on specific site conditions. Such determination shall be in writing and included as part of any decision on any variance.

The proposal will not adversely impact the surrounding properties. The project has been designed to minimize its effect on the surrounding residential neighborhood.

ATTACHMENT B: CONDITIONS OF APPROVAL

The proposal is hereby approved subject to the following Conditions of Approval:

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, and the approved plans April 18, 2019, as amended by the following conditions of approval and mitigation measures, if applicable ("Conditions of Approval" or "Conditions").

2. Effective Date, Expiration, Extensions and Extinguishment This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten (10) calendar days unless an appeal is filed. Unless a different ermination date is prescribed, this Approval shall expire two years from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period a complete building permit. application has been filed with the Bureau of Building and diligently pursued towards completion, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval the Director of City Planning or designee may grant a one-year extension of this date, with additional xtensions subject to approval by the approving body. Expiration of any necessary building permit or other instruction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for ning necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

3. Compliance with Other Requirements The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, ents, regulations, and guidelines, including but not limited to those imposed by the City's Burean of Building, Fire Marshal, Department of Transportation, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall

be processed in accordance with the procedures contained in Condition #4. 4. Minor and Major Changes

permit/approval.

a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new

5. Compliance with Conditions of Approval

"project applicant" or "applicant") shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved technical report at his/her sale cost and expense, subject to review and approval by the City of Oakland.

The City of Oakland reserves the right at any time during construction to require certification by a icensed professional at the project applicant's expense that the as-built project conforms to all applicable rements, including but not limited to, approved maximum heights and minimum setbacks. Pailure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.

Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke he Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the rovisions of the Planning Code or Municipal Code, or the project operates as or causes a public misance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City's Master Fee Schedule for inspections conducted by the City or a City designated third-party to investigate alleged violations of the Approval or Conditions.

Signed Copy of the Approval/Conditions

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within sixty (60) days of approval, unless an earlier date is specified elsew

a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland edevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents. officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and

 b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a cour

urisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval. 6. Special Inspector/Inspections, Independent Technical Review, Project Coordination and

he project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times f extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with Engineering Services and/or the Bureau of Building, if directed by the Director of Public Works, Building Official, Director of City Planning Director of Transportation, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits ction permits, curb/gutter/sidewalk permits, and public improvement ("p-job") permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, Engineering Services, Department of Transportation, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City.

12. Trash and Blight Removal Requirement: The project applicant and his/her successors shall maintain the property free of blight, as defined in chapter 8.24 of the Oakland Municipal Code. For nonresidential and multi-family residential projects, the project applicant shall install and maintain trash receptacles near public entryways as needed to provide sufficient capacity for building users.

When Required: Ongoing Initial Approval: N/A Monitoring/Inspection: Bureau of Building

13. Graffiti Control

a. During construction and operation of the project, the project applicant shall incorporate best nanagement practices reasonably related to the control of graffiti and/or the mitigation of the impacts of graffiti. Such best management practices may include, without limitation Installation and maintenance of landscaping to discourage defacement of and/or protect likely

graffiti-attracting surfaces. Installation and maintenance of lighting to protect likely graffiti-attracting surfaces. iii. Use of paint with anti-graffiti coating.

Incorporation of architectural or design elements or features to discourage graffiti defacement in accordance with the principles of Crime Prevention Through Environmental Design (CPTED).

Other practices approved by the City to deter, protect, or reduce the potential for graffiti defacement.

b. The project applicant shall remove graffiti by appropriate means within seventy-two (72) hours. Appropriate means include the following: Removal through scrubbing, washing, sanding, and/or scraping (or similar method) without damaging the surface and without discharging wash water or cleaning detergents into the City storm drain system. ii. Covering with new paint to match the color of the surrounding surface. iii. Replacing with new surfacing (with City permits if required). When Required: Ongoing

Initial Approval: N/A Monitoring/Inspection: Bureau of Building 14. Landscape Plan

a. Landscape Plan Required Requirement: The project applicant shall submit a final Landscape Plan for City review and approval that is consistent with the approved Landscape Plan. The Landscape Plan shall be included with the set of drawings submitted for the construction-related permit and shall comply with the landscape requirements of chapter 17.124 of the Planning Code. Proposed plants shall be predominantly drought-tolerant. Specification of any street trees shall comply with the Master Street Tree List and Tree Planting Guidelines (which can be viewed at http://www2.oaklandnet.com/oakca1/groups/pwa/documents/report/oak042662.pdf and http://www2.oaklandnet.com/oakca1/groups/pwa/documents/form/oak025595.pdf, respectively), and with any applicable streetscape plan.

When Required: Prior to approval of construction-related permit Initial Approval: Bureau of Planning Monitoring/Inspection: N/A

When Required: Ongoing

Initial Approval: N/A

b. Landscape Installation ment: The project applicant shall implement the approved Landscape Plan unless a bond, cash deposit, letter of credit, or other equivalent instrument acceptable to the Director of City Planning, is provided. The financial instrument shall equal the greater of \$2,500 or the estimated cost of implementing the Landscape Plan based on a licen When Required: Prior to building permit final nitial Approval: Bureau of Planning Monitoring/Inspection: Bureau of Building

c. Landscape Maintenance Requirement: All required planting shall be permanently maintained in good growing condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with plicable landscaping requirements. The property owner shall be responsible for maintaining planting in adjacent public rights-of-way. All required fences, walls, and irrigation systems shall be permanently maintained in good condition and, whenever necessary, repaired or replaced.

Monitoring/Inspection: Bureau of Building Requirement: Proposed new exterior lighting fixtures shall be adequately shielded to a point below the light ulb and reflector to prevent unnecessary glare onto adjacent properties. When Required: Prior to building permit final Initial Approval: N/A

Ionitoring/Inspection: Bureau of Building

. Dust Controls - Construction Related equirement: The project applicant shall implement all of the following applicable dust control measures

. Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible. . Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least wo feet of freeboard (i.e., the minimum required space between the top of the load and the top of the

All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. d. Limit vehicle speeds on unpaved roads to 15 miles per hour. e. All demolition activities (if any) shall be suspended when average wind speeds exceed 20 mph.

 All trucks and equipment, including tires, shall be washed off prior to leaving the site. g. Site accesses to a distance of 100 feet from the paved road shall be treated with a 6 to 12 inch compacted layer of wood chips, mulch, or gravel.

17. Criteria Air Pollutant Controls - Construction Related
Requirement: The project applicant shall implement all of the following applicable basic control measures for criteria air pollutants during construction of the project as applicable: a. Idling times on all diesel-fueled commercial vehicles over 10,000 lbs. shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to two minutes (as required by the California airborne toxics control measure Title 13, Section 2485, of the California Code of Regulations). Clear signage to this effect shall be provided for construction workers at all

b Idling times on all diesel-fueled off-road vehicles over 25 horsepower shall be minimized either by

shutting equipment off when not in use or reducing the maximum idling time to two minutes and fleet

erators must develop a written policy as required by Title 23, Section 2449, of the California Code of Regulations ("California Air Resources Board Off-Road Diesel Regulations"). All construction equipment shall be maintained and properly tuned in accordance with the manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. Equipment check documentation should be kept at the construction site and be available for review by the City and the Bay Area Air

d. Portable equipment shall be powered by grid electricity if available. If electricity is not available propane or natural gas generators shall be used if feasible. Diesel engines shall only be used if grid tricity is not available and propane or natural gas generators cannot meet the electrical demand. Low VOC (i.e., ROG) coatings shall be used that comply with BAAQMD Regulation 8, Rule 3:

All equipment to be used on the construction site shall comply with the requirements of Title 13, Section 2449, of the California Code of Regulations ("California Air Resources Board Off-Road Diesel Regulations") and upon request by the City (and the Air District if specifically requested), the project applicant shall provide written documentation that fleet requirements have been met. When Required: During construction

Initial Approval: N/A Monitoring/Inspection: Bureau of Building

a. Health Risk Reduction Measure

18. Exposure to Air Pollution (Toxic Air Contaminants)

Requirement: The project applicant shall incorporate appropriate measures into the project design in order to reduce the potential health risk due to exposure to toxic air contaminants. The project applicant shall choose one of the following methods: i. The project applicant shall retain a qualified air quality consultant to prepare a Health Risk

assessment (HRA) in accordance with California Air Resources Board (CARB) and Office of Environmental Health and Hazard Assessment requirements to determine the health risk of exposure of project residents/occupants/users to air pollutants. The HRA shall be submitted to the City for review and approval. If the HRA concludes that the health risk is it or below acceptable levels, then health risk reduction measures are not required. If the HRA concludes that the health risk exceeds acceptable levels, health risk reduction measures shall be identified to reduce the health risk to acceptable levels. Identified risk reduction measures shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other cumentation submitted to the City.

The project applicant shall incorporate the following health risk reduction measures into the project. These features shall be submitted to the City for review and approval and be neluded on the project drawings submitted for the construction-related permit or on other ocumentation submitted to the City

. Installation of air filtration to reduce cancer risks and Particulate Matter (PM) exposure for residents and other sensitive populations in the project that are in close proximity to sources of air pollution. Air filter devices shall be rated MERV-13 or higher. As part of implementing this measure, an ongoing maintenance plan for he building's HVAC air filtration system shall be required. Where appropriate, install passive electrostatic filtering systems, especially those

with low air velocities (i.e., 1 mph). Phasing of residential developments when proposed within 500 feet of freeways such that homes nearest the freeway are built last, if feasible. The project shall be designed to locate sensitive receptors as far away as feasible

from the source(s) of air pollution. Operable windows, balconies, and building air

intakes shall be located as far away from these sources as feasible. If near a distribution center, residents shall be located as far away as feasible from a loading dock or where trucks concentrate to deliver goods.

. Sensitive receptors shall be located on the upper floors of buildings, if feasible. Planting trees and/or vegetation between sensitive receptors and pollution source, f feasible. Trees that are best suited to trapping PM shall be planted, including one or more of the following: Pine (Pinus nigra var. maritima), Cypress (X Supressocyparis leylandii), Hybrid poplar (Populus deltoids X trichocarpa), and Redwood (Sequoia sempervirens).

Sensitive receptors shall be located as far away from truck activity areas, such as loading docks and delivery areas, as feasible. · Existing and new diesel generators shall meet CARB's Tier 4 emission standards,

· Emissions from diesel trucks shall be reduced through implementing the following measures, if feasible: o Installing electrical hook-ups for diesel trucks at loading docks Requiring trucks to use Transportation Refrigeration Units (TRU) that meet Tier 4 emission standards.

o Requiring truck-intensive projects to use advanced exhaust technology (e.g., hybrid) or alternative fuels Prohibiting trucks from idling for more than two minutes. Establishing truck routes to avoid sensitive receptors in the project. A truck route program, along with truck calming, parking, and delivery restrictions, shall be implemented.

When Required: Prior to approval of construction-related permit Initial Approval: Bureau of Planning Monitoring/Inspection: Bureau of Building

b. Maintenance of Health Risk Reduction Measures Requirement: The project applicant shall maintain, repair, and/or replace installed health risk eduction measures, including but not limited to the HVAC system (if applicable), on an ongoing and as-needed basis. Prior to occupancy, the project applicant shall prepare and then distribute to the building manager/operator an operation and maintenance manual for the HVAC system and filter including the maintenance and replacement schedule for the filter. When Required: Ongoing

Initial Approval: N/A Monitoring/Inspection: Bureau of Building

9. Asbestos in Structures

Requirement: The project applicant shall comply with all applicable laws and regulations regarding solition and renovation of Asbestos Containing Materials (ACM), including but not limited to California Code of Regulations, Title 8; California Business and Professions Code, Division 3; California Health and Safety Code sections 25915-25919.7; and Bay Area Air Quality Management District, Regulation 11, Rule 2, as may be amended. Evidence of compliance shall be submitted to the City upon request.

When Required: Prior to approval of construction-related permit Initial Approval: Applicable regulatory agency with jurisdiction

20. Archaeological and Paleontological Resources - Discovery During Construction Requirement: Pursuant to CEQA Guidelines section 15064.5(f), in the event that any historic or prehistoric reface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant shall notify the City and consult with a qualified archaeologist or paleontologist, as applicable, to assess the significance of the find. In the case of discovery of paleontological resources, the assessment shall be done in accordance with the Society of Vertebrate Paleontology standards. If any find is determined to be significant, appropriate avoidance measures recommended by the consultant and approved by the City must be followed unless avoidance is determined innecessary or infeasible by the City. Feasibility of avoidance shall be determined with consideration of factors such as the nature of the find, project design, costs, and other considerations. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery, excavation) shall be instituted.

Work may proceed on other parts of the project site while measures for the cultural resources are In the event of data recovery of archaeological resources, the project applicant shall submit an Archaeological Research Design and Treatment Plan (ARDTP) prepared by a qualified archaeologist for review and approval by the City. The ARDTP is required to identify how the proposed data recovery program would preserve the significant information the archaeological resource is expected to contain. The ARDTP shall identify the scientific/historic research questions applicable to the expected resource, the data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. The ARDTP shall include the analysis and specify the curation and storage methods. Data recovery, in general, shall be limited to the portions of the archaeological resource that could be mpacted by the proposed project. Destructive data recovery methods shall not be applied to portions of the archaeological resources if nondestructive methods are practicable. Because the intent of the ARDTP is to save as much of the archaeological resource as possible, including moving the resource, if feasible, preparation and applementation of the ARDTP would reduce the potential adverse impact to less than significant. The project applicant shall implement the ARDTP at his/her expense.

In the event of excavation of paleontological resources, the project applicant shall submit an excavation plan prepared by a qualified paleontologist to the City for review and approval. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by a qualified paleontologist, as appropriate, according to current professional standards and at the expense of

When Required: During construction Initial Approval: N/A Monitoring/Inspection: Bureau of Building

21. Human Remains - Discovery During Construction Requirement: Pursuant to CEQA Guidelines section 15064.5(e)(1), in the event that human skeletal remains are uncovered at the project site during construction activities, all work shall immediately halt and the project applicant shall notify the City and the Alameda County Coroner. If the County Coroner determines that an investigation of the cause of death is required or that the remains are Native American, all work shall cease within 50 feet of the remains until appropriate arrangements are made. In the event that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC),

timeframe required to resume construction activities. Monitoring, data recovery, determination of ignificance, and avoidance measures (if applicable) shall be completed ex When Required: During construction

pursuant to subdivision (c) of section 7050.5 of the California Health and Safety Code. If the agencies

determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and

Initial Approval: N/A Monitoring/Inspection: Bureau of Building 22. Property Relocation dequirement: Pursuant to Policy 3.7 of the Historic Preservation Element of the Oakland General Plan, the

ject applicant shall make a good faith effort to relocate the historic resource to a site acceptable to the ity. A good faith effort includes, at a minimum, all of the following: a. Advertising the availability of the building by: (1) posting of large visible signs (such as banners, at a minimum of 3' x 6' size or larger) at the site; (2) placement of advertisements in Bay Area news media acceptable to the City; and (3) contacting neighborhood associations and for-profit and not-for-profit. Maintaining a log of all the good faith efforts and submitting that along with photos of the subject

d. Making the building available at no or nominal cost (the amount to be reviewed by the Oakland Cultu-

Requirement: The project applicant shall obtain all required construction-related permits/approvals from the City. The project shall comply with all standards, requirements and conditions contained in construction-related codes, including but not limited to the Oakland Building Code and the Oakland Grading Regulations.

derivate Survey) until removal is necessary for construction of a replacement project, but in no case for less than a period of 90 days after such advertisement When Required: Prior to approval of construction-related permi-Initial Approval: Bureau of Planning (including Oakland Cultural Resource Survey) Monitoring/Inspection: N/A

c. Maintaining the signs and advertising in place for a minimum of 90 days; and

o ensure structural integrity and safe construction. When Required: Prior to approval of construction-related permit Initial Approval: Bureau of Building Monitoring/Inspection: Bureau of Building

24. Hazardous Materials Related to Construction

Avoid overtopping construction equipment fuel gas tanks;

d. Properly dispose of discarded containers of fuels and other chemicals;

23. Construction-Related Permit(s)

Requirement: The project applicant shall ensure that Best Management Practices (BMPs) are implem by the contractor during construction to minimize potential negative effects on groundwater, soils, and uman health. These shall include, at a minimum, the following: a. Follow manufacture's recommendations for use, storage, and disposal of chemical products used in

c. During routine maintenance of construction equipment, properly contain and remove grease and oils

e. Implement lead-safe work practices and comply with all local, regional, state, and federal requirements concerning lead (for more information refer to the Alameda County Lead Poisoning Prevention Program); and

f. If soil, groundwater, or other environmental medium with suspected contamination is encountered unexpectedly during construction activities (e.g., identified by odor or visual staining, or if any inderground storage tanks, abandoned drums or other hazardous materials or wastes are encoun he project applicant shall cease work in the vicinity of the suspect material, the area shall be secured as necessary, and the applicant shall take all appropriate measures to protect human health and the

environment. Appropriate measures shall include notifying the City and applicable regulatory agency(ies) and implementation of the actions described in the City's Standard Conditions of Approval is necessary, to identify the nature and extent of contamination. Work shall not resume in the area(s) affected until the measures have been implemented under the oversight of the City or regulatory agency,

When Required: During construction Initial Approval: N/A

Manitoring/Inspection: Bureau of Building

25. Site Design Measures to Reduce Stormwater Runoff Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the stional Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to ncorporate appropriate site design measures into the project to reduce the amount of stormwater runoff. hese measures may include, but are not limited to, the following: a. Minimize impervious surfaces, especially directly connected impervious surfaces and surface parking

b. Utilize permeable paving in place of impervious paving where appropriate

c. Cluster structures: d. Direct roof runoff to vegetaled areas;

e. Preserve quality open space; and Establish vegetated buffer areas. When Required: Ongoing Initial Approval: N/A

Monitoring/Inspection: N/A

26. Source Control Measures to Limit Stormwater Pollution

wash racks for restaurants;

. No construction is allowed on Sunday or federal holidays

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to incorporate appropriate source control measures to limit pollution in stormwater runoff. These measures may include, but are not limited to, the following: Stencil storm drain inlets "No Dumping - Drains to Bay;"

 Minimize the use of pesticides and fertilizers; c. Cover outdoor material storage areas, loading docks, repair/maintenance bays and fueling areas; Cover trash, food waste, and compactor enclosures; and e. Plumb the following discharges to the sanitary sewer system, subject to City approval:

i Discharges from indoor floor mats, equipment, hood filter, wash racks, and, covered outdoor

Dumpster drips from covered trash, food waste, and compactor enclosures; Discharges from outdoor covered wash areas for vehicles, equipment, and accessories; Swimming pool water, if discharge to on-site vegetated areas is not feasible; and

v. Fire sprinkler teat water, if discharge to on-site vegetated areas is not feasible.

Initial Approval: N/A Monitoring/Inspection: N/A

27. Construction Days/Hours Requirement: The project applicant shall comply with the following restrictions concerning construction a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Frida

except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m. b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.

Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area. Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the organcy/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar tays prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit ation concerning the type and duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.

When Required: During construction Initial Approval: N/A Monitoring/Inspection: Bureau of Building

28. Construction Noise Requirement: The project applicant shall implement noise reduction measures to reduce noise impacts due o construction. Noise reduction measures include, but are not limited to, the following: a. Equipment and trucks used for project construction shall utilize the best available noise control

techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically-attenuating shields or shrouds) wherever feasible. b. Except as provided herein, impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools

themselves shall be used, if such jackets are commercially available, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever such procedures are available and consistent with construction procedures. Applicant shall use temporary power poles instead of generators where feasible.

Stationary noise sources shall be located as far from adjacent properties as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or use other measures as determined by the City to provide equivalent noise reduction. e. The noisiest phases of construction shall be limited to less than 10 days at a time. Exceptions may be allowed if the City determines an extension is necessary and all available noise reduction controls

When Required: During construction Initial Approval: N/A Monitoring/Inspection: Bureau of Building

are implemented.

When Required: Ongoing

Initial Approval: N/A

irement: Noise levels from the project site after completion of the project (i.e., during project operation) comply with the performance standards of chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by

Monitoring/Inspection: Bureau of Building 0. Construction Activity in the Public Right-of-Way a. Obstruction Permit Required

Requirement: The project applicant shall obtain an obstruction permit from the City prior to placing any temporary construction-related obstruction in the public right-of-way, including City streets, sidewalks, bicycle facilities, and bus stops. When Required: Prior to approval of construction-related permit

Initial Approval: Department of Transportation Monitoring/Inspection: Department of Transportation

b. Traffic Control Plan Required Requirement: In the event of obstructions to vehicle or bicycle travel lanes, bus stops, or sidewalks, the project applicant shall submit a Traffic Control Plan to the City for review and approval prior to obtaining an obstruction permit. The project applicant shall submit evidence of City approval of the Traffic Control Plan with the application for an obstruction permit. The Traffic Control Plan shall contain a set of comprehensive traffic control measures for auto, transit, bicycle, and pedestrian accommodations (or detours, if accommodations are not feasible), including detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes. The Traffic Control Plan shall be in conformance with the City's Supplemental Design Guidance for Accommodating Pedestrians, Bicyclists, and Bus Facilities in Construction Zones. The project applicant shall implement the approved Plan during

Initial Approval: Department of Transportation

Monitoring/Inspection: Department of Transportation

Monitoring/Inspection: Department of Transportation c. Repair of City Streets Requirement: The project applicant shall repair any damage to the public right-of way, including streets and sidewalks, caused by project construction at his/her expense within one week of the occurrence of the damage (or excessive wear), unless further damage/excessive wear may continue; in such case, repair shall occur prior to approval of the final inspection of the When Required: Prior to building permit final Initial Approval: N/A

31. Construction and Demolition Waste Reduction and Recycling Requirement: The project applicant shall comply with the City of Oakland Construction and Demolition Waste Reduction and Recycling Ordinance (chapter 15.34 of the Oakland Municipal Code) by submitting a Construction and Demolition Waste Reduction and Recycling Plan (WRRP) for City review and approval, and shall implement the approved WRRP. Projects subject to these requirements include all nev construction, renovations/alterations/modifications with construction values of \$50,000 or more (except R-3 type construction), and all demolition (including soft demolition) except demolition of type R-3 construction. The WRRP must specify the methods by which the project will divert construction and demolition debris waste from landfill disposal in accordance with current City requirements. The WRRP may be submitted electronically at www.greenhalosystems.com or manually at the City's Green Building esource Center. Current standards, FAQs, and forms are available on the City's website and in the Green

Requirement: The project applicant shall place underground all new utilities serving the project and under

When Required: Prior to approval of construction-related permit Initial Approval: Public Works Department, Environmental Services Division ing/Inspection: Public Works Department, Environmental Services Division 32. Underground Utilities

Building Resource Center.

33. Green Building Requirements

he control of the project applicant and the City, including all new gas, electric, cable, and telephone acilities, fire alarm conduits, street light wiring, and other wiring, conduits, and similar facilities. The new facilities shall be placed underground along the project's street frontage and from the project structures to the point of service. Utilities under the control of other agencies, such as PG&F, shall be placed underground if feasible. All utilities shall be installed in accordance with standard specifications of the serving utilities. When Required: During construction nitial Approval: N/A Monitoring/Inspection: Bureau of Building

a. Compliance with Green Building Requirements During Plan-Check

equirement: The project applicant shall comply with the requirements of the California Green Building undards (CALGreen) mandatory measures and the applicable requirements of the City of Oakland Green ilding Ordinance (chapter 18.02 of the Oakland Municipal Code).

The following information shall be submitted to the City for review and approval with the

 Documentation showing compliance with Title 24 of the current version of the California Building Energy Efficiency Standards. Completed copy of the final green building checklist approved during the review of the lanning and Zoning permit.

. Copy of the Unreasonable Hardship Exemption, if granted, during the review of the Planning and Zoning permit.

· Permit plans that show, in general notes, detailed design drawings, and specifications as necessary, compliance with the items listed in subsection (ii) below.

Copy of the signed statement by the Green Building Certifier approved during the review

of the Planning and Zoning permit that the project complied with the requirements of the een Building Ordinance · Signed statement by the Green Building Certifier that the project still complies with the equirements of the Green Building Ordinance, unless an Unreasonable Hardship

103 points per the appropriate checklist approved during the Planning entitlement proces

All green building points identified on the checklist approved during review of the

Exemption was granted during the review of the Planning and Zoning permit. Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance. The set of plans in subsection (i) shall demonstrate compliance with the following: CALGreen mandatory measures.

PlanningandZoning permit, unless a Request for Revision Plan-check application is submitted and approved by the Bureau of Planning that shows the previously approved points that will be eliminated or substituted. The required green building point minimums in the appropriate credit categories.

When Required: Prior to approval of construction-related permit Initial Approval: Bureau of Building Monitoring/Inspection: N/A b. Compliance with Green Building Requirements During Construction

Requirement: The project applicant shall comply with the applicable requirements of CALGreen and the Oakland Green Building Ordinance during construction of the project. The following information shall be submitted to the City for review and approval: Completed copies of the green building checklists approved during the review of the Planning and Zoning permit and during the review of the building permit.

Signed statement(s) by the Green Building Certifier during all relevant phases of construction that e project complies with the requirements of the Green Building Ordinance iii. Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance. When Required: During construction

Initial Approval: N/A Monitoring/Inspection: Bureau of Building

c. Compliance with Green Building Requirements After Construction Requirement: Prior to the finaling the Building Permit, the Green Building Certifier shall submit the ppropriate documentation to City staff and attain the minimum required point level When Required: Prior to Final Approval Initial Approval: Bureau of Planning Monitoring/Inspection: Bureau of Building

34. Window and Door Details

Prior to issuance of building permi The applicant shall submit to the Planning and Zoning Division for review and approval, a window and door schedule, including cross-sections and elevations, and final architectural details of the structure. Details shall show wood-like (or aluminum) windows that have a minimum two-inch recess from the surrounding exterior walls, have at least 1 3/8" sash with glazing recessed 3/8" from the surface, sill apron at the base, and window manufacturer should be indicated. Each window shall be single or double hung. Window and door schedule, including cross-sections and elevations, and final architectura details of the structure

When Required: Prior to approval of construction-related permit Initial Approval: Bureau of Planning Monitoring/Inspection: Bureau of Building

35. Exterior Materials

Prior to issuance of building permit The applicant shall submit to the Planning and Zoning Division for review and approval a siding to be 9" xposure channel rustic or 2"-5" exposure clap board (any cement fiber siding may be acceptable if it meet he style and size identified), 10" frieze detail, slender porch columns and identify metal water table material. Queen Anne design features and should be retained with no changes. A note should be added to he plan stating "no changes shall be made to the exterior elevations except as indicated on the plans". When Required: Prior to approval of construction-related permit Initial Approval: Bureau of Planning

pertaining to the project.

Monitoring/Inspection: Bureau of Building

Applicant Statement I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval, as well as to all provisions of the Oakland Planning Code and Oakland Municipal Code

NOTICE OF EXEMPTION

TO: Alameda County Clerk

106 Madison Stree

1 Ministerial (Sec.15268)

Department of Fish and Game filing fees.

[Sec. ____)

Oakland, CA 94612

City of Oakland Bureau of Planning 250 Frank H. Ogawa Plaza, Suite 2114

Project Title: Project Applicant: 1435 96 Street Project Location: Project Description: Restoration of historic building and raising the structure. Exempt Status:

Case No. PLN19020

[X] Projects consistent with a community plan, general plan or zoning (Sec. 15183(f))

Feasibility/Planning Study (Sec 15262) Replacement or Reconstruction (Sec. 15302) Emergency Project (Sec.15269) Small Structures (Sec. 15303 General Rule (Sec.15061(b)(3))

Existing Facilities (Sec.15301)

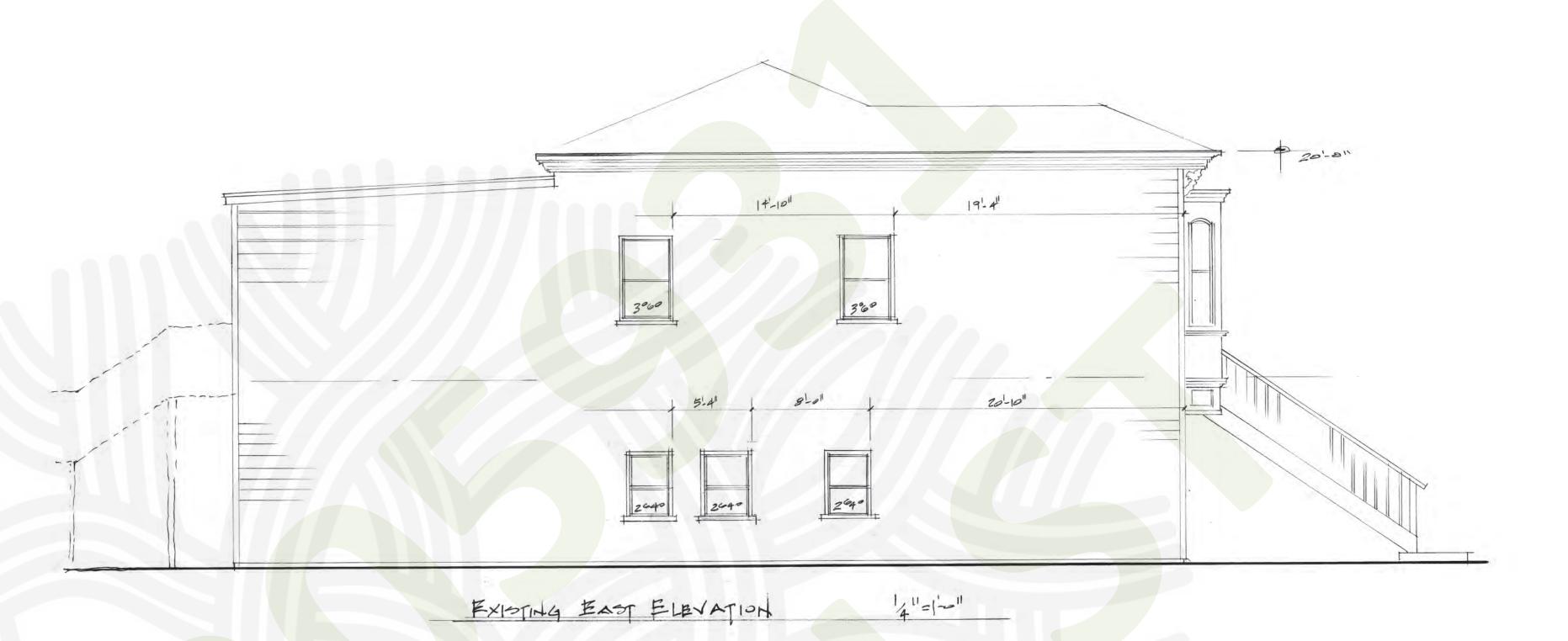
Lead Agency: City of Oakland, Planning and Building Department, Bureau of Planning, 250 Frank H. Ogawa Plaza, Suite Department/Contact Person: lose M. Herrerg-Preza Phone: 510-238-3808

Pursuant to Section 711.4(d)(1) of the Fish and Game Code, statutory and categorical exemptions are also exempt from

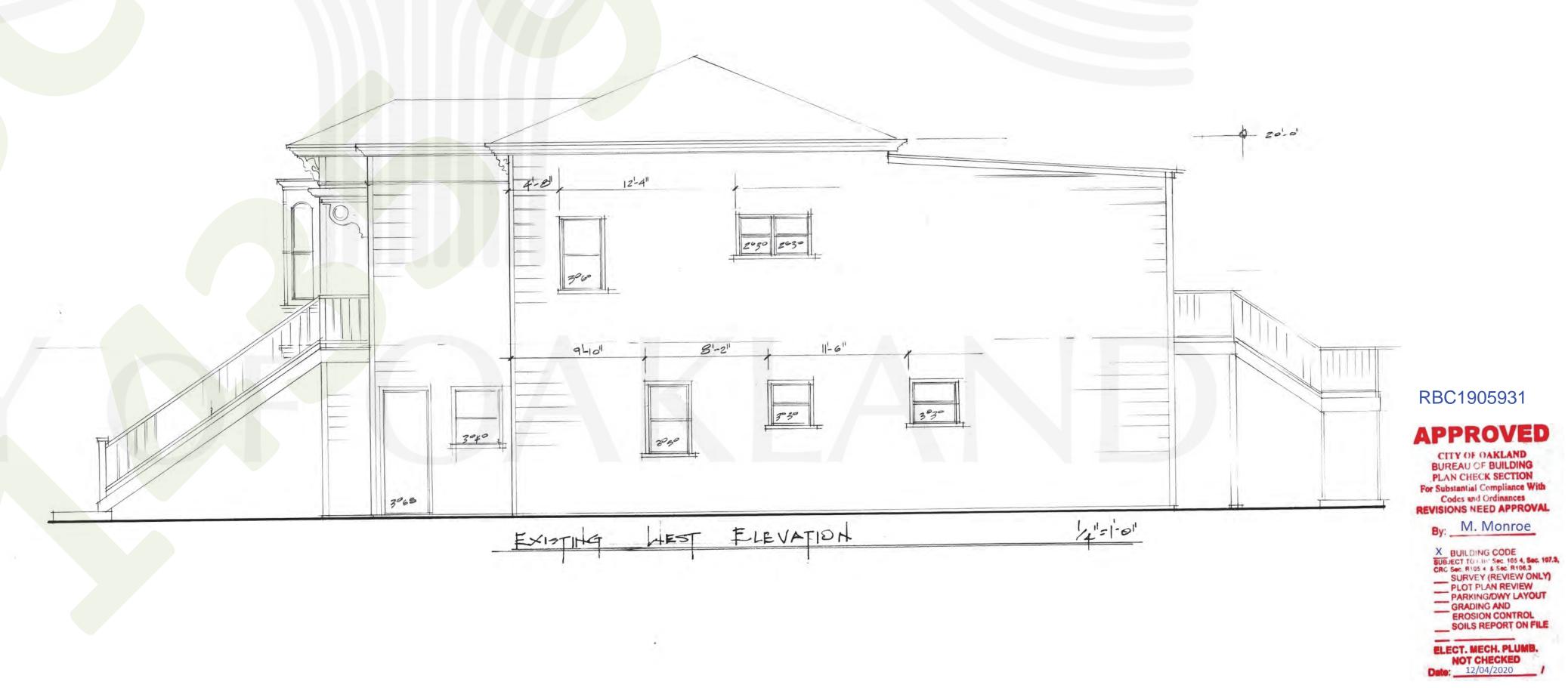
Reasons why project is exempt: Restoration, Remodel and Raising of a building with appropriate conditions of approval

0

8







Remodel/Renovation 1435 9th Street RBC1905931 APPROVED BUREAU OF BUILDING
PLAN CHECK SECTION
For Substantial Compliance With
Codes and Ordinances
REVISIONS NEED APPROVAL By: M. Monroe

1435 9th St. Oakland CA

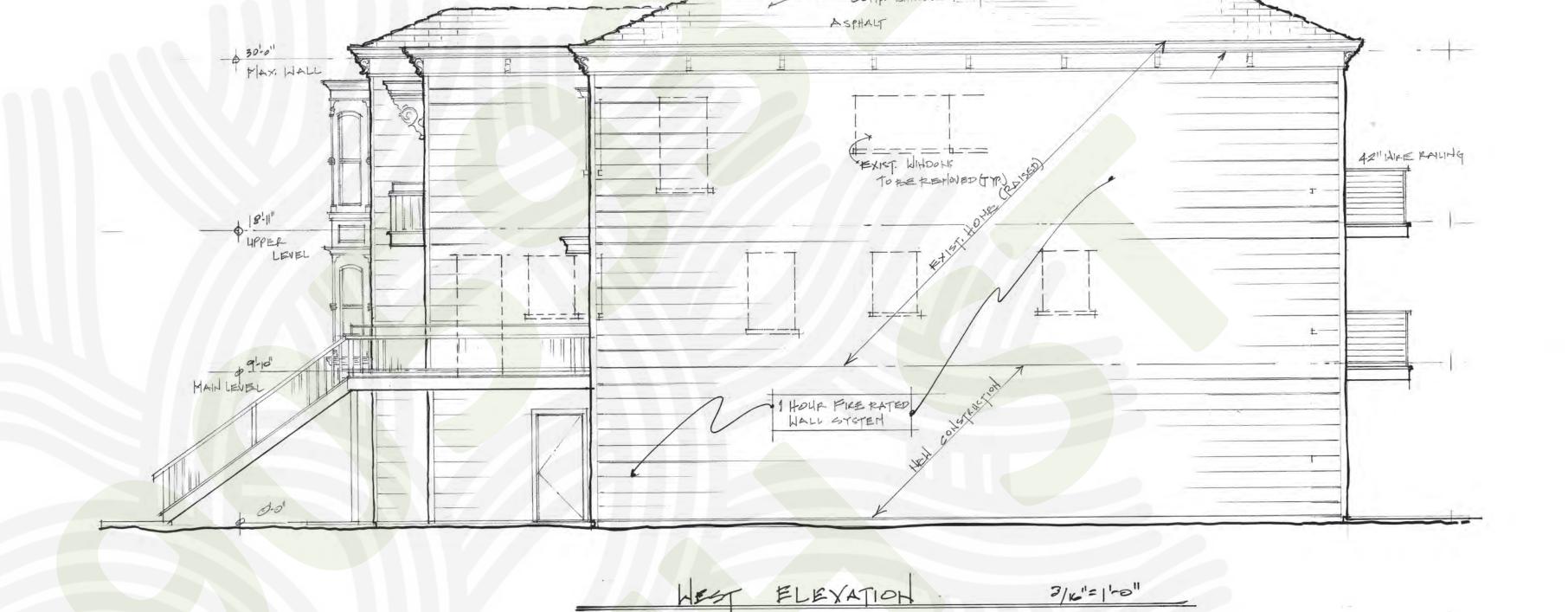
1435 9th St. Oakland CA

35'-0" A

30-0" HAX. WALL HT.

EXIST. BAY

HELD BAY W/ DETAILS



APPROVED

By Jose M Herrera-Preza at 9:56 am, Dec 28, 2020

RBC1905931

\$ 35 0 MAX, ROOF HT.

APPROVED BUREAU OF BUILDING
PLAN CHECK SECTION
For Substantial Compliance With
Codes and Ordinances
REVISIONS NEED APPROVAL

By: M. Monroe

X BUILDING CODE
SUBJECT TO THE Sec. 105.4, Sec. 107.3,
CRC Sec. R105.4 & Sec. R106.3
SURVEY (REVIEW ONLY)
PLOT PLAN REVIEW
PARKING/DWY LAYOUT
GRADING AND
EROSION CONTROL
SOILS REPORT ON FILE

ELECT. MECH. PLUMB.
NOT CHECKED
Date: 12/04/2020

EAST SIDE ELEVATION

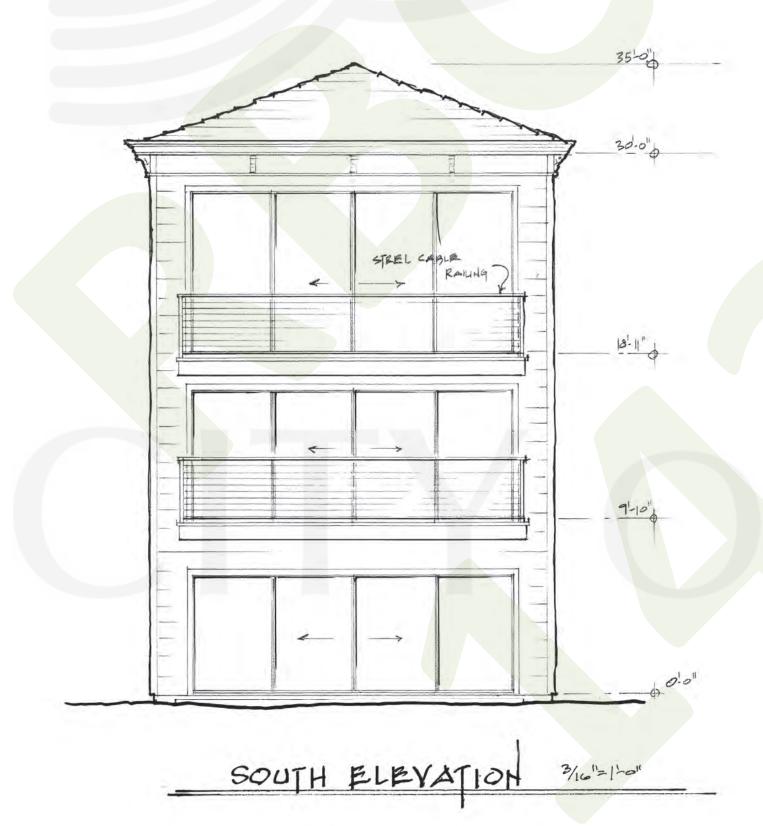
(H) COMP, SHINGLES -

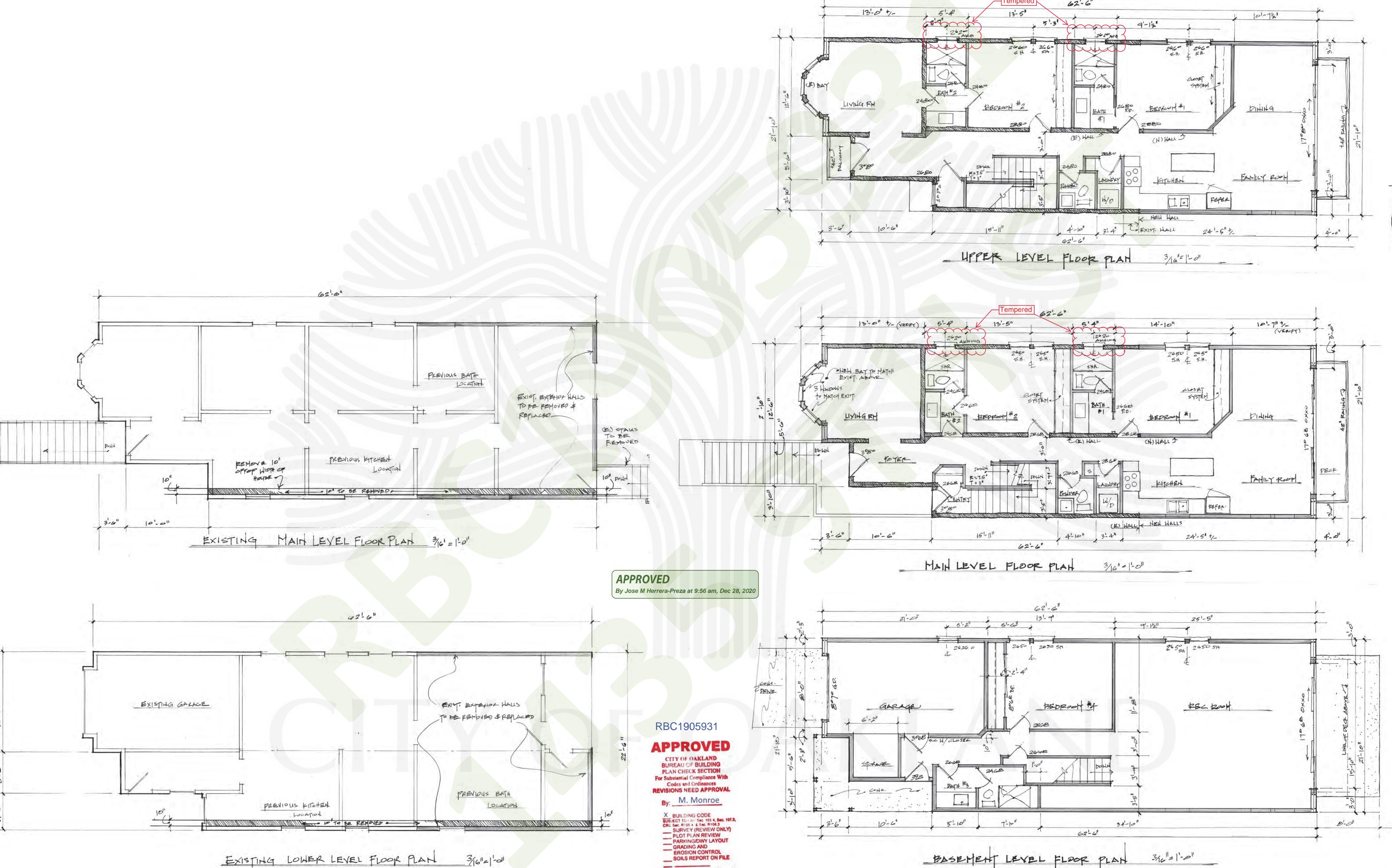
TO BEREHOVED (TYP)

(HISIDIHGTS MATCH EXIST.

3/16====

HOUR FIRE RATED WALL SYSTEM

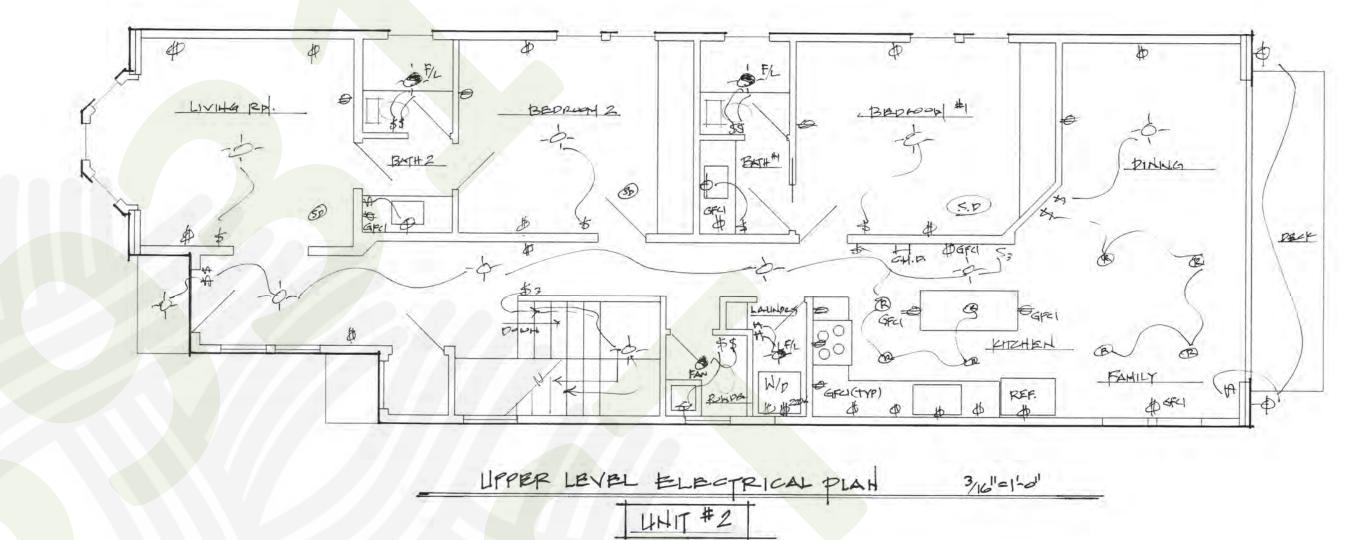


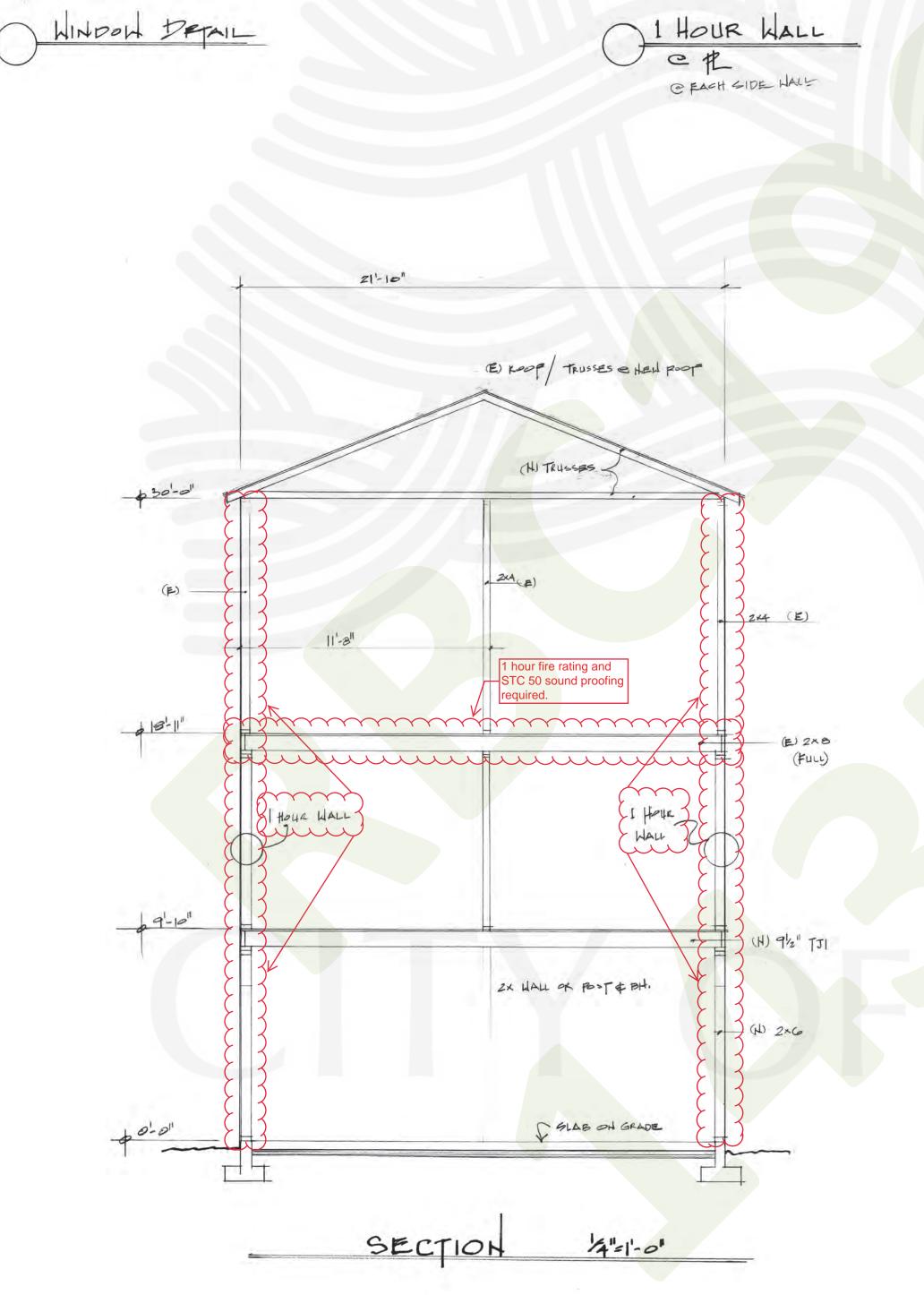


ELECT. MECH. PLUMB.
NOT CHECKED
Date: 12/04/2020

(BASEMENT)

Oakland CA 1435 9th St.





ELECT. MECH. PLUMB. NOT CHECKED Date: 12/04/2020

56 TYPE'X'

1/2 058 -

ALLAN

ALL WINDOW DETAILS TO MATCH EXISTING

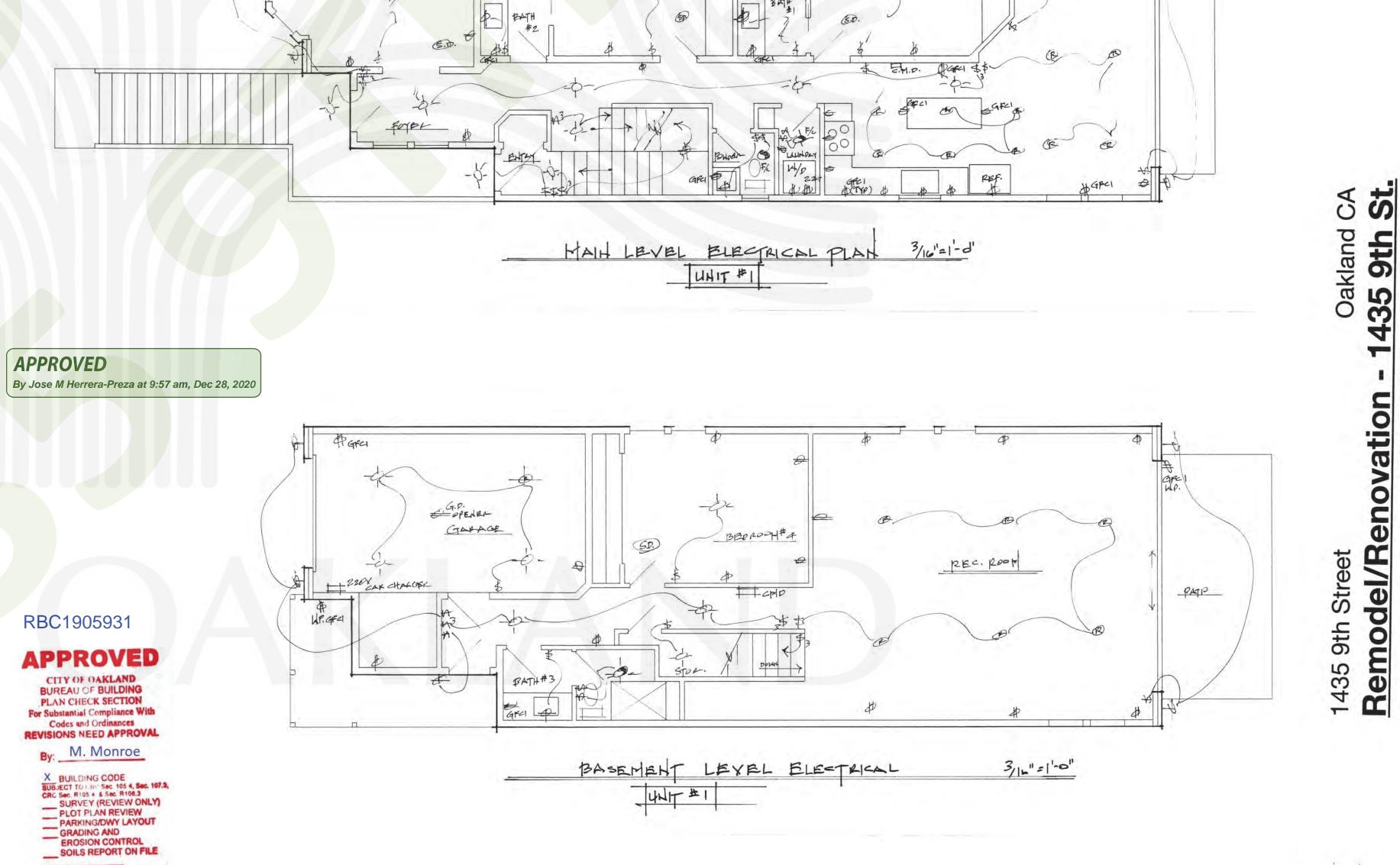
HELL VIHTL WINDOWS

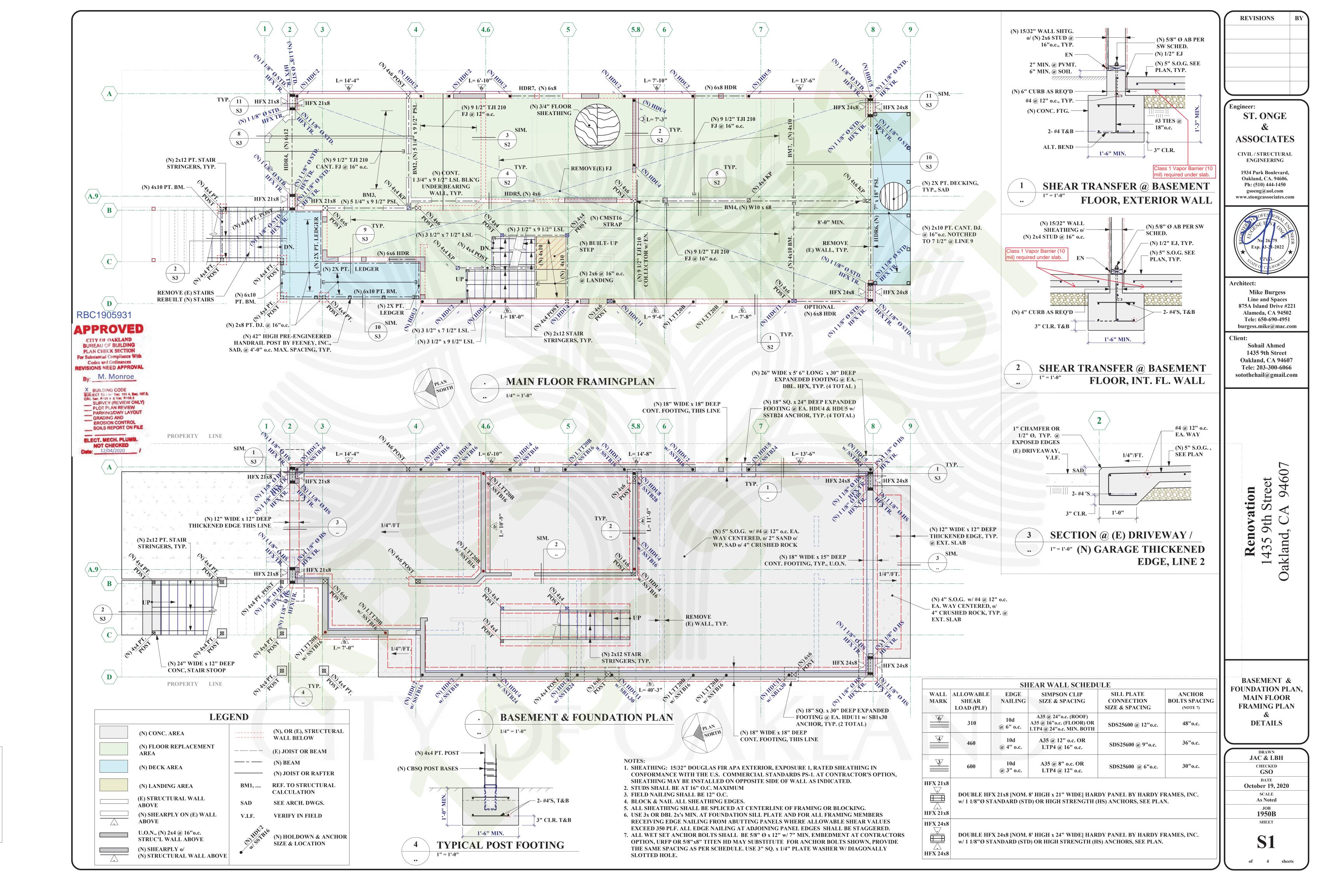
HOOD SILL TO MATCH EXIST.

518" TTP: X 448 =

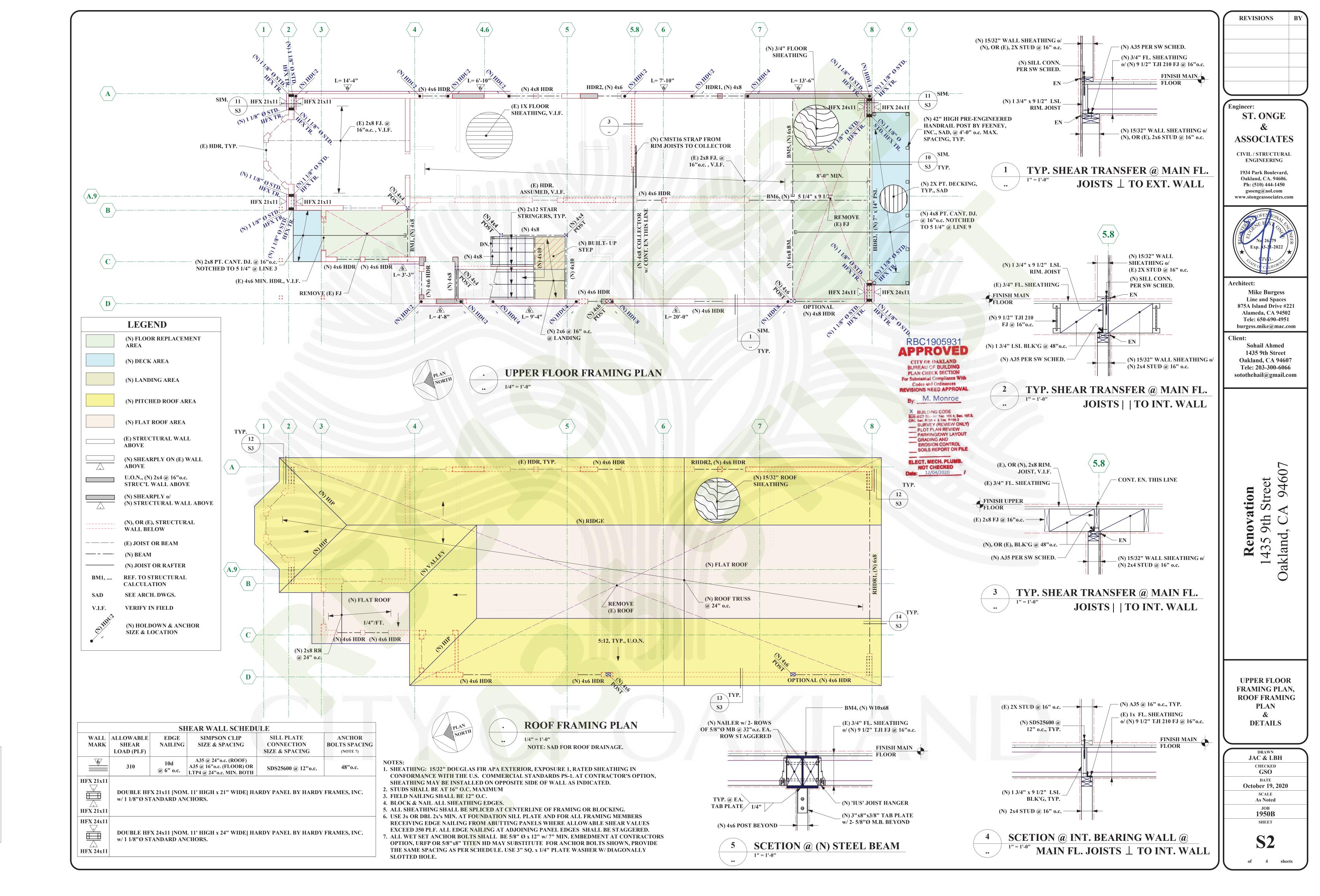
(2) LAYERS 30# BLDG PAPER -

9" LAP SIDING
FIBER CEMENT (MATCH EXIST)

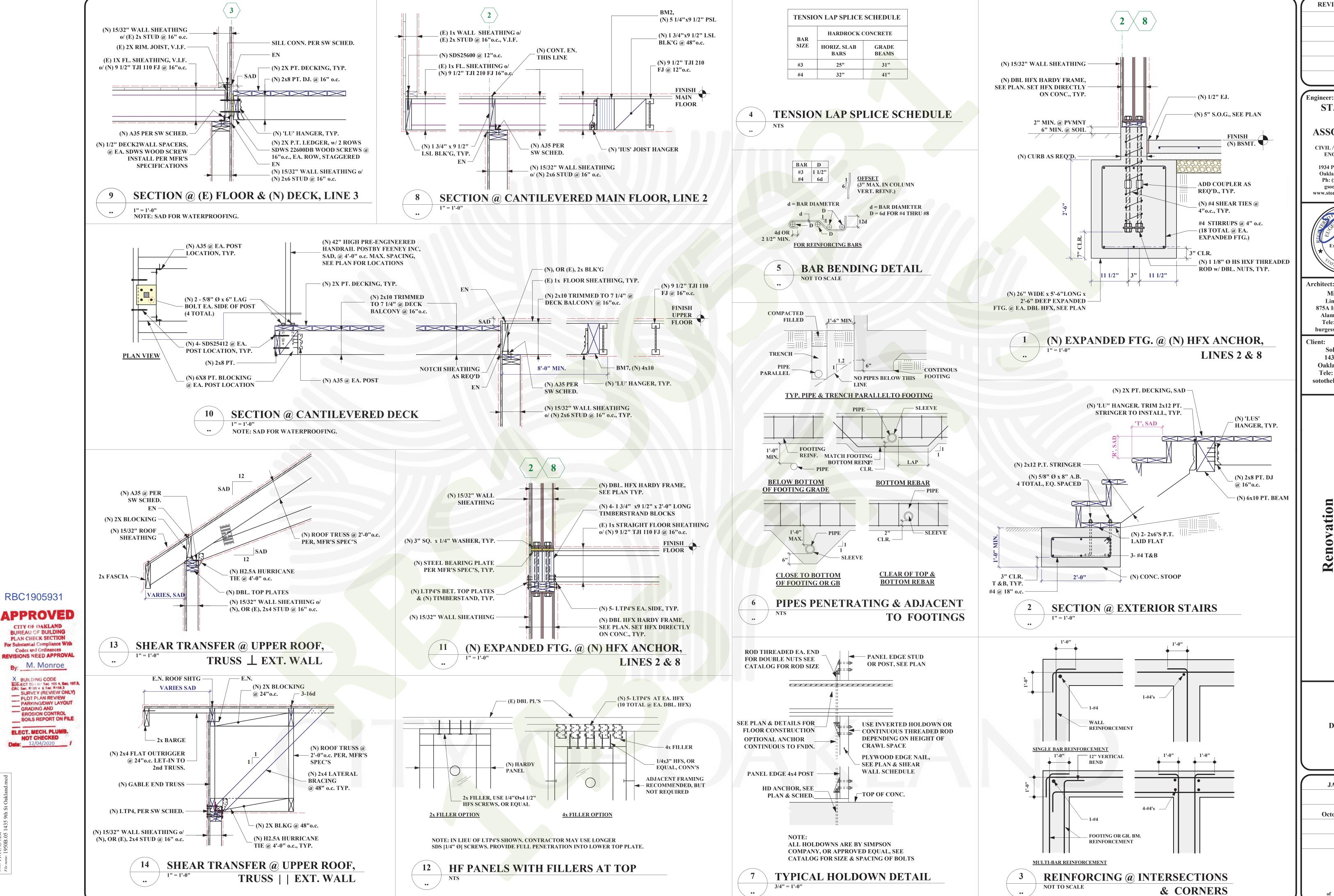




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Date: October 19, 2020 Time: 11:11:45 AM File name: 1950B.05 1435 9th St Oakland.r



RBC1905931

CITY OF OAKLAND

BUREAU OF BUILDING

PLAN CHECK SECTION

Codes and Ordinances

M. Monroe

GRADING AND EROSION CONTROL

ELECT. MECH. PLUMB.

NOT CHECKED

REVISIONS

ST. ONGE **ASSOCIATES**

CIVIL / STRUCTURAL **ENGINEERING** 1934 Park Boulevard, Oakland, CA. 94606.

Ph: (510) 444-1450 gsoeng@aol.com www.stongeassociates.com

Mike Burgess Line and Spaces 875A Island Drive #221 Alameda, CA 94502 Tele: 650-690-4951

burgess.mike@mac.com **Sohail Ahmed**

1435 9th Street Oakland, CA 94607 Tele: 203-300-6066 sotothehail@gmail.com

DETAILS

JAC & LBH CHECKED October 19, 2020 SCALE As Noted 1950B

SHEET **S3** APPLYING TO ALL STRUCTURAL FEATURES UNLESS OTHERWISE SHOWN OR NOTED.

- I. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE 2016 CALIFORNIA BUILDING CODE (CBC) WITH CITY OF OAKLAND AMENDMENTS.
- . THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE
- ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. . UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE. ALL
- DETAILS SHALL BE CONSIDERED TYPICAL AT SIMILAR CONDITIONS. 4. UNLESS OTHERWISE SHOWN OR NOTED, FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS FOR
- ALL STRUCTURAL PRODUCTS USED ON THIS PROJECT. THE APPROVED DRAWINGS SHALL BE KEPT ON THE JOB SITE AND SHALL BE AVAILABLE TO AUTHORIZED
- REPRESENTATIVES OF THE BUILDING OFFICIAL. THERE SHALL BE NO DEVIATION FROM THE STAMPED DRAWINGS WITHOUT OFFICIAL APPROVAL.
- . SAFETY MEASURES: AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PEOPLE AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. SHORING AND BRACING OF THE SOIL, AND THE EXISTING STRUCTURES, SHALL BE INSTALLED WHERE NECESSARY TO ADEQUATELY SUPPORT THE IMPOSED VERTICAL AND LATERAL LOADS, AND SHALL BE MAINTAINED UNTIL THE NEW STRUCTURE CAN SUPPORT THE ANTICIPATED LOADS. UNDERPINNING AND/OR SHORING IS REQUIRED AT ALL ELEVATIONS ADJACENT TO, AND TO ELEVATIONS BELOW, EXISTING FOUNDATIONS, AND WHERE PARTIAL REMOVAL OF EXISTING FOUNDATIONS IS CALLED FOR ON THE DRAWINGS. THE ENGINEER'S JOB SITE VISITS ARE NOT INTENDED TO INCLUDE REVIEW OF THE ADEOUACY OF THE CONTRACTOR'S SAFETY MEASURES. ALL
- SAFETY -RELATED MEASURES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF CAL-OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION DIVISION OF DEPT. OF INDUSTRIAL SAFETY, STATE OF CALIFORNIA). ANY OPENING, HOLES, CUTS OR DISCONTINUITIES NOT SHOWN ON THE STRUCTURAL DRAWINGS AND
- EXTENDING INTO OR THROUGH STRUCTURAL ELEMENTS REQUIRE THE PRIOR APPROVAL OF THE ENGINEER, AND MAY REQUIRE SPECIAL STRUCTURAL DETAILING B. CONTRACTORS SHALL SCHEDULE WORK TO MINIMIZE INTERRUPTION AND INCONVENIENCE TO THE
- ACTIVITIES OF THE ADJACENT BUILDING TENANTS.
- 9. CONTRACTOR SHALL MAINTAIN A CLEAN AND SAFE WORKING AREA.
- 10. CONTRACTOR SHALL COMPLY WITH CITY OF OAKLAND, CA, REQUIREMENTS FOR THE PROTECTION OF PUBLIC RIGHT-OF-WAY (SIDEWALKS).
- 11. THE LOCATION OF EXISTING UTILITY LINES IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL ENDEAVOR TO MAINTAIN IN SERVICE ALL UTILITIES TO THE TENANTS FOR THE DURATION OF THE PROJECT. 12. INTENT:
- IF CERTAIN FEATURES ARE NOT FULLY SHOWN OR CALLED FOR ON THE DRAWINGS OR SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR SPECIFIED.
- 13. REFERENCE TO OTHER DRAWINGS:
- 13.1 SEE DRAWINGS OTHER THAN STRUCTURAL FOR KINDS OF FLOOR FINISH AND THEIR LOCATION, FOR DEPRESSIONS IN FLOOR SLABS, FOR OPENINGS IN WALLS AND FLOORS REQUIRED BY ARCHITECTURAL AND MECHANICAL FEATURES, FOR DRIVEWAY PAVING, WALKS, RAMPS, STAIRS, CURBS, ETC.
- 13.2 HOLES AND OPENINGS THROUGH WALLS AND FLOORS FOR DUCTS, PIPING AND VENTILATION SHALL BE CHECKED BY THE CONTRACTOR WHO SHALL VERIFY SIZES AND LOCATION OF SUCH HOLES OR OPENINGS WITH THE PLUMBING, HEATING, VENTILATING AND ELECTRICAL DRAWINGS AND SUB-CONTRACTORS.

DESIGN DATA

I. CODE: 2016 CBC

- 2. DESIGN VERTICAL LOADS: FLOOR --12 PSF 40 PSF -- 12 PSF 20 PSF EXT. WALLS ----10 PSF INT. WALLS ----7 PSF
- . SEISMIC: V=0.111W (ASD) [SS= 1.54, S1= 0.61, SITE CLASS D, R=6.5, I= 1.0, SITE DES. CAT. E, SD1= 0.61, SDS=1.02]
- **4. WIND:** H=15.2 PSF (ASD)

OBSERVATIONS, TESTS & SPECIAL INSPECTIONS

- PROVIDE TESTS AND INSPECTIONS FOR ALL ITEMS AS REQUIRED BY THE 2016 CALIFORNIA BUILDING
- . THE OWNER SHALL RETAIN AN INDEPENDENT TESTING LAB TO PERFORM ALL REQUIRED TESTING AND
- 3. THE CONTRACTOR SHALL PROVIDE THE TESTING LAB WITH CONSTRUCTION SCHEDULES TO ENSURE PROPER COORDINATION OF WORK.
- 4. THE FOLLOWING SPECIFIC ITEMS SHALL BE INSPECTED BY A PROJECT ENGINEER, CITY'S INSPECTOR OR **TESTED BY THE TESTING LAB:**
- 4.1. PLACEMENT OF REINFORCEMENT STEEL (WITH ADEQUATE LEAD TIME TO MAKE ANY REQUIRED
- CORRECTIONS.) 4.2. SHEARWALL NAILING & HOLDOWNS
- 4.3. HOLDOWN ANCHORS INSTALLATIONS.
- 5. CONTRACTOR SHALL SCHEDULE STRUCTURAL BY THE ENGINEER OF RECORD AT COMPLETION OF EACH OF THE FOLLOWING CONSTRUCTION PHASES:
- 5.1. FORMING, REBAR, AND ANCHOR PLACEMENT.
- 5.2. GENERAL FRAMING
- 5.3. SHEARWALL NAILING AND HOLDOWN LOCATIONS.

FOUNDATIONS

- . CBC SITE CLASS 5 IS ASSUMED FOR FOUNDATION DESIGN.
- ALLOWABLE SOIL BEARING PRESSURE; 1500 PSF FOR DEAD PLUS LIVE LOADS.
- B. EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. ALL FOUNDATIONS SHALL BE PLACED WITHOU THE USE OF SIDE FORMS WHEREVER POSSIBLE. IF THE TRENCHES CANNOT STAND, FULLY FORM SIDES TO DIMENSIONS SHOWN.
- . DO NOT ALLOW WATER TO STAND IN TRENCHES. IF BOTTOMS OF TRENCHES BECOME SOFTENED DUE TO RAIN OR OTHER WATER BEFORE CONCRETE IS CAST, EXCAVATE SOFTENED MATERIAL AND REPLACE WITH PROPERLY COMPACTED BACKFILL OR CONCRETE AT NO COST TO THE OWNER.
- . ALL EXCAVATIONS, FORMS AND REINFORCING ARE TO BE INSPECTED BY THE LOCAL BUILDING INSPECTOR PRIOR TO PLACING CONCRETE.
- 6. CLAYEY SOIL SHOULD BE MOISTURE CONDITIONED TO AT LEAST 3 PERCENT OVER OPTIMUM WATER CONTENT AND COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION. SANDY SOILS SHOULD BE MOISTURE CONDITIONED TO NEAR OPTIMUM WATER CONTENT AND COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION.

CONCRETE

- . CONCRETE CEMENT SHALL CONFORM TO 2016 CBC STND. NO. 19-1, AND SHALL BE TYPE II. TYPE I CEMENT MAY BE USED IN AREAS NOT IN CONTACT WITH EARTH. AGGREGATE SHALL BE HARDROCK, CONFORMING TO ASTM C-33, AND FREE OF ALKALI-REACTIVITY. WATER/CEMENT RATIO SHALL NOT EXCEED 55%. ACID SOLUBLE CHLORIDE CONTENT SHALL NOT EXCEED 0.2 PERCENT OF CEMENT WEIGHT. CHLORIDE-FREE ADMIXTURES AND PLASTICIZERS FOR WORKABILITY MAY BE USED IF APPROVED BY THE TESTING LABORATORY AND ENGINEER. BECAUSE EXCESS WATER REDUCES CONCRETE STRENGTH, ADDING WATER
- AT THE SITE IS DISCOURAGED AND SHALL NOT EXCEED ONE GALLON PER CUBIC YARD. INSTALL ALL INSERTS, BOLTS, ANCHORS, AND REINFORCING BARS AND SECURELY TIE PRIOR TO PLACING
- CONCRETE SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTHS OF 2500 PSI AT 28 DAYS.
- 4. CONCRETE SHALL BE PLACED IN A CONTINUOUS OPERATION BETWEEN PREDETERMINED CONSTRUCTION . CONCRETE SHALL BE CONTINUOUSLY CURED FOR 5 DAYS AFTER PLACEMENT IN ANY APPROVED MANNER.
- THE LOCATION AND PROTECTION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UTILITY PIPES RUN THROUGH, OR WITHIN 24" BELOW, ANY
- NEW CONCRETE CONSTRUCTION. PIPE OR DUCTS EXCEEDING ONE-THIRD THE SLAB OR WALL THICKNESS SHALL NOT BE PLACED IN
- STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. . PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN.
- 9. CONCRETE SHALL NOT BE ALLOWED TO CURE IN TEMPERATURES LESS THAN 40° FAHRENHEIT FOR THE FIRST THREE DAYS.

10. MAXIMUM SLUMP: 4 INCHES.

REINFORCING STEEL

- 1. USE ASTM A615 REINFORCEMENT FOR ALL BARS, GRADE 60.
- 2. ALL REINFORCEMENT SHALL BE CONTINUOUS. STAGGER SPLICES WHERE POSSIBLE. LAPS
- FOR SPLICES SHALL BE AS PER THE LAP SPLICE SCHEDULE SHOWN IN THESE DRAWINGS. 3. HOLD REINFORCEMENT IN ITS TRUE HORIZONTAL AND VERTICAL POSITION WITH DEVICES SUFFICIENTLY NUMEROUS TO PREVENT DISPLACEMENT.

ROUGH CARPENTRY

1. FOR SCHEDULE OF MINIMUM NAILING SEE TABLE 2304.9.1, 2016 CBC. UNLESS OTHERWISE

SIMPSON CC OR ECC

- NOTED, ALL NAILS SHALL BE COMMON NAILS. 2. PLACE JOINTS WITH CROWN UP.
- 3. ADD ONE ADDITIONAL JOIST UNDER ALL PARALLEL PARTITIONS.
- 4. BLOCK ALL JOISTS AT SUPPORTS AND UNDER ALL PARTITIONS WITH MINIMUM 2X SOLID
- 5. METAL FRAMING DEVICES:
- PROVIDE TYPICAL CONNECTORS FOR WOOD FRAMING BY SIMPSON CO. OR EQUAL. ALI CONNECTIONS SHALL BE 16 GA. GALVANIZED SHEET METAL OR THICKER, U.O.N., FULLY NAILED IN ALL PUNCHED HOLES WITH NAILS OF SIZE AND LENGTH SPECIFIED AND/OR PROVIDED BY MANUFACTURER. IF CONNECTORS ARE AVAILABLE IN DIFFERENT SIZES, THE SIZE USED SHALL BE AS SHOWN IN DETAILS OR ELSE THE LARGEST SIZE MADE FOR THE DEPTH OF MEMBER BEING FRAMED. COMPARABLE FASTENERS BY OTHER MANUFACTURERS MAY BE USED IF APPROVED IN ADVANCE BY THE DESIGN ENGINEER.
- UNLESS OTHERWISE NOTED, PROVIDE THE FOLLOWING FRAMING CONNECTIONS: - SAWN LUMBER JOIST-TO-BEAM:
- POST-TO-BEAM: **SIMPSON BC** - POST-TO-FOUNDATION: SIMPSON CBSQ 6. ALL FRAMING LUMBER SHALL BE GRADE STAMPED S-DRY (19% MOISTURE CONTENT
- AT TIME OF INSTALLATION) 7. SAWN LUMBER:
- U.O.N. ALL SAWN LUMBER SHALL BE DOUGLAS FIR LARCH (COAST REGION), GRADED AND MARKED IN ACCORDANCE WITH THE STANDARD GRADING RULES NUMBER 16 OF THE WEST COAST LUMBER INSPECTION BUREAU.
- POSTS, JOISTS, RAFTERS & BEAMS -STUDS ------STUD GRADE
- 8. STRUCTURAL STUD WALLS:

- BEAM-TO-POST:

- 8.1 USE SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE UNLESS OTHERWISE NOTED OR SHOWN. STAGGER JOINTS IN UPPER AND LOWER MEMBERS OF TOP PLATES NOT LESS
- 8.2 BOLT SILL PLATE TO CONCRETE AS PER ANCHOR BOLT SCHEDULE. ONE BOLT SHALL BE WITHIN 9" OF EACH END OF EACH PIECE OF PLATE. PROVIDE 2 BOLTS MINIMUM PER PIECE.
- 8.3 PROVIDE SIMPSON ANGLE A35 CLIP @ 16" O.C. BETWEEN DBL. TOP PLATES AND BLOCKING AND RIM JOIST TYPICAL, U.O.N PER PLAN OR SHEARWALL SCHEDULE.
- **BOLTS:** 9.1 BOLTS SHALL BE PER ASTM A307, U.O.N.
 - 9.2 BOLT HOLES 1/16" OVERSIZE. THREADS SHALL NOT BEAR ON WOOD OR STEEL.
 - 9.3 USE STANDARD MALLEABLE IRON WASHERS AGAINST WOOD. 2 3/4" ØX 5/16" THICK FOR 5/8" BOLTS. 3" ØX7/16" THICK FOR 3/4" BOLTS
- 9.4 ALL BOLTS EXPOSED TO WEATHER OR PROLONGED DAMPNESS SHALL BE HOT-DIPPED GALVANIZED.
- 10.1 (WOOD OR LAG) SCREWS SHALL BE SCREWED AND NOT DRIVEN INTO PLACE. 10.2 IN SPACING SCREWS, THE HOLES SHALL BE BORED TO THE SAME DIAMETER AND DEPTH OF THE SCREW SHANK. THE HOLES FOR THE THREADED PORTION OF THE
- SCREWS SHALL BE BORED WITH A BIT NOT LARGER THAN THE DIAMETER OF THE BASE OF THE THREAD. 11. MANUFACTURED LUMBER.

12.1 U.O.N. ALL MANUFACTURED LUMBER SHALL BE: 'X BEAM' 24F-V4 GLULAM OR

- 'BIG BEAM' BEAMS BY ROSBORO, OR APPROVED EQUALS. 12.2 CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL MANUFACTURED LUMBER
- FRAMING TO THE ENGINEER FOR REVIEW & APPROVAL PRIOR TO THE INSTALLATION. 12. CONTRACTOR MAY SUBSTITUTE AN APPROVED EQUAL MATERIAL FOR ALL CONNECTORS OR MANUFACTURED LUMBER SPECIFIED.

- 1. U.O.N., USE APA EXTERIOR, EXPOSURE1, RATED SHEATHING IN
- CONFORMANCE WITH THE U.S. COMMERCIAL STANDARDS PSI-95, PS2-92, OR NER-108 (PRP-108). INSTALL WITH FACE GRAIN PERPENDICULAR TO JOISTS.
- 2. U.O.N., SHEARWALL SHEATHING SHALL BE 15/32" WITH EDGE NAILING AS INDICATED ON THE DRAWINGS, 16d SINKER NAILS MAY BE SUBSTITUTED FOR THE 10d COMMON NAILS INDICATED, BLOCK AT PANEL EDGES' AS REQ'D. WHERE SHEATHING IS REQ'D FOR WALL
- FINISH ONLY, EDGE NAILING SHALL BE 10d. 2. FLOOR SHEATHING SHALL BE 3/4" T&G, w/ EDGES LOCATED OVER BLOCKING AND NAILED w/ 10d @ 6"o.c. EDGE NAILING & 12"o.c. FIELD NAILING, U.O.N. SPAN RATING 48/24, UNBLOCKED. GLUE TO FLOOR JOISTS, U.O.N.
- . ROOF SHEATHING SHALL BE 15/32" WITH A SPAN RATING OF 24/0, UNBLOCKED, w/ 10d COMMON NAILS OR 16d SINKER NAILS @ 6" o.c. EDGE & BOUNDARY NAILING AND 10d COMMON NAILS OR 16d SINKER NAILS @ 12" o.c. FIELD NAILING, U.O.N. INSTALL WITH FACE GRAIN PERPENDICULAR TO RAFTERS.

ROOF TRUSSES

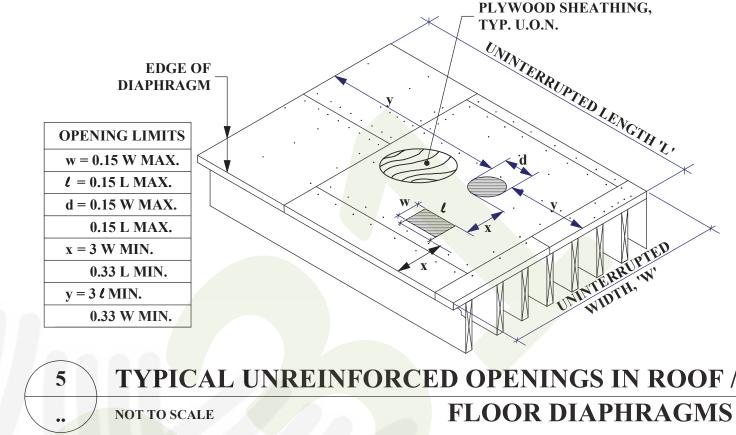
- . FABRICATED TRUSSES FOR ROOF FRAMING SHALL BE DESIGNED BY A CALIFORNIA LICENSED ENGINEER. PRIOR TO FABRICATION OF TRUSSES, THE FOLLOWING MATERIALS BEARING APPROVAL OF THE PROJECT ENGINEER SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR REVIEW AND APPROVAL:
- 1.1. 2 SETS OF TRUSS DRAWINGS.
- 1.2. 2 LAYOUT PLANS DELINEATING THE LOCATIONS OF ALL TRUSSES.
- 1.3. ONE SET OF DESIGN CALCULATIONS SHOWING *AXIAL AND BENDING STRESSES
- *JOINT DESIGN
- 2. DESIGN LOADS ARE AS FOLLOWS: 2.1 DEAD LOAD
- 2.1.1. TOP CHORD 9 PSF
- 2.1.2. BOTTOM CHORD 8 PSF 2.2 LIVE LOAD - 20 PSF
- 2.3 WIND LOAD 18 PSF

STRUCTURAL STEEL

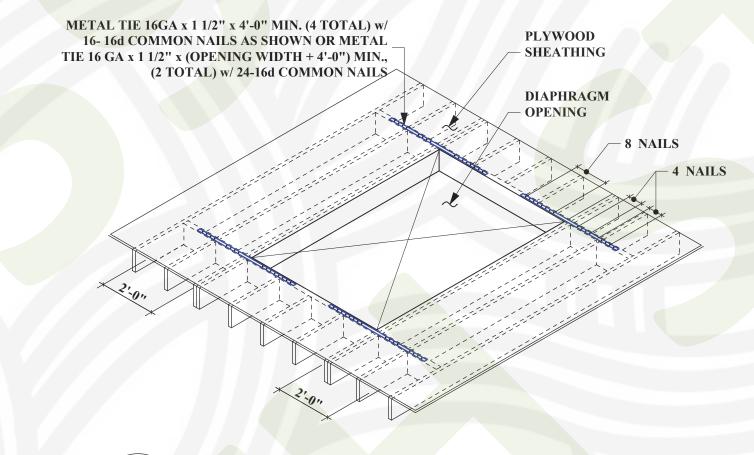
- 1. MATERIALS: STRUCTURAL STEEL (ROLLED SECTION)-------ASTM A992, GRADE 50 PLATES & SHAPES -----
- U.O.N., BOLTS SHALL CONFORM TO ASTM A307 AND SHALL BE INSTALLED TO A 'SNUG-TIGHT' CONDITION.

ALL EXPOSED METAL SHALL BE GALVANIZED OR PAINTED AND PROTECTED USING AN EXTERIOR METAL PRIMING PAINT AND A FINISH COAT.

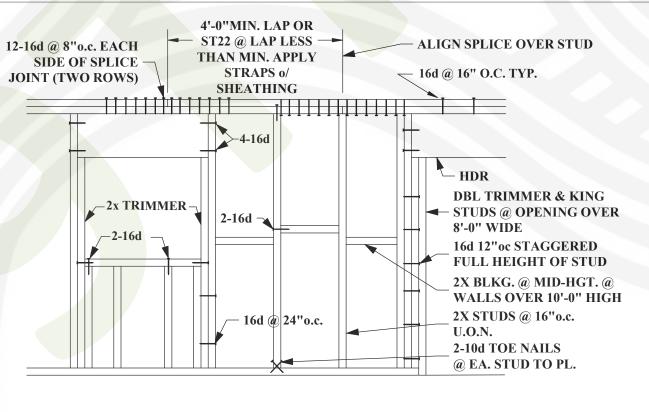
- 2. FABRICATION AND ERECTION:
- COMPLY WITH AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", CURRENT EDITION
- 3. WELDING: COMPLY WITH AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE-STEEL" ANSI/AWS D1.1, CURRENT EDITION, AND "STRUCTURAL WELDING CODE - SHEET STEEL" AWS D1.3, CURRENT EDITION. USE "E70" OR EQUAL ELECTRODES. ALL WELDING TO BE BY CERTIFIED WELDERS.
- 4. THE STRUCTURAL STEEL FABRICATOR'S SHOP DRAWINGS SHALL BE SUBMITTED TO THE PROJECT ENGINEER-OF-RECORD FOR REVIEW PRIOR TO SUBMITTAL TO THE BUILDING DEPARTMENT.



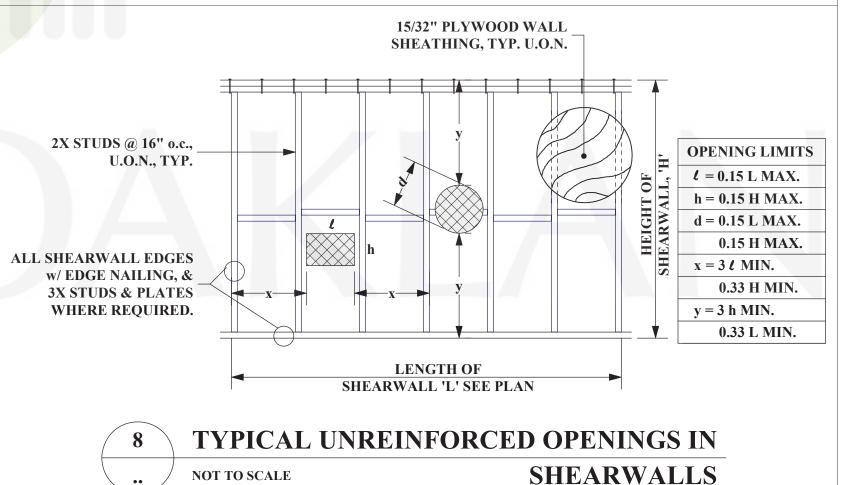
NOTES: 1. OPENINGS EXCEEDING THE MAXIMUM SIZE OR MINIMUM EDGE LOCATION ARE NOT PERMITTED WITHOUT REINFORCING DESIGN PROVIDED BY STRUCTURAL ENGINEER. 2. EDGE OF DIAPHRAGM OCCURS AT, BUT IS NOT LIMITED TO; EXTERIOR AND INTERIOR SHEAR, WALLS, BEAMS, AND COLLECTORS. 3. FOR TYPICAL DIAPHRAGM DETAILS, SEE DETAIL 4.



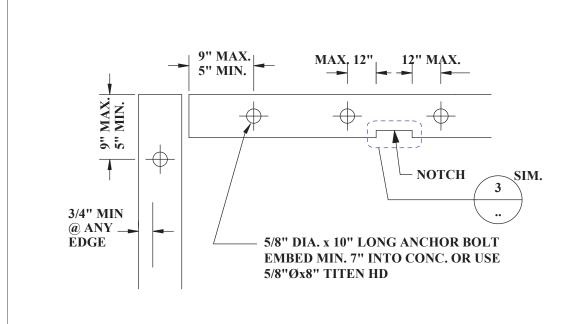
TYP. REINFORCEMENT @ OPENING IN FLOOR DIAPHRAGM



TYPICAL STUDWALL DETAIL (INCLUDING NOT TO SCALE **BEARING & SHEAR WALLS)**

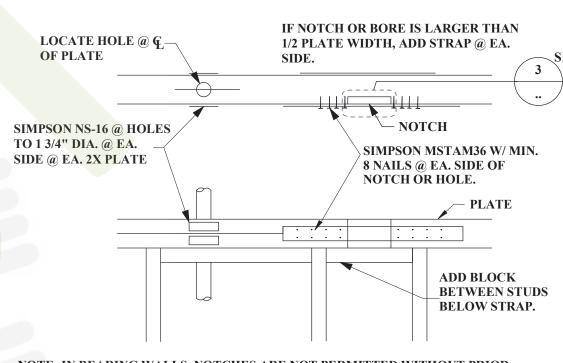


NOTES: 1. OPENINGS EXCEEDING THE MAXIMUM SIZE OR MINIMUM EDGE LOCATION ARE NOT PERMITTED WITHOUT REINFORCING DESIGN PROVIDED BY STRUCTURAL ENGINEER. 2. FOR TYPICAL SHEARWALL DETAILS, SEE DETAIL 7.

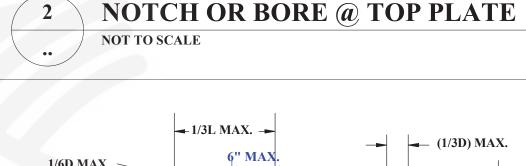


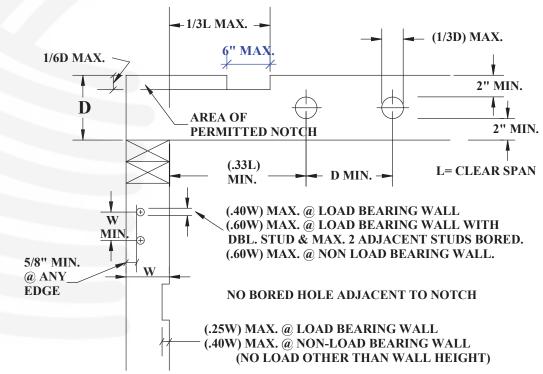


- 1. SEE SHEARWALL SCHED. FOR SPACING. 2. ALL ANCHOR BOLTS SHALL BE INSTALLED WITH 2"x2"x3/16" STEEL
- PLATE WASHERS, TYP. 3. PROVIDE MIN. 2 ANCHOR BOLTS PER PIECE OF PLATE.
- 4. IF PLATE IS NOTCHED OR BORED MORE THAN 1/3 OF WIDTH, LOCATE AN ANCHOR BOLT 1 1/2" FROM EACH SIDE.



NOTE: IN BEARING WALLS, NOTCHES ARE NOT PERMITTED WITHOUT PRIOR APPROVAL OF STRUCTURAL ENGINEER.

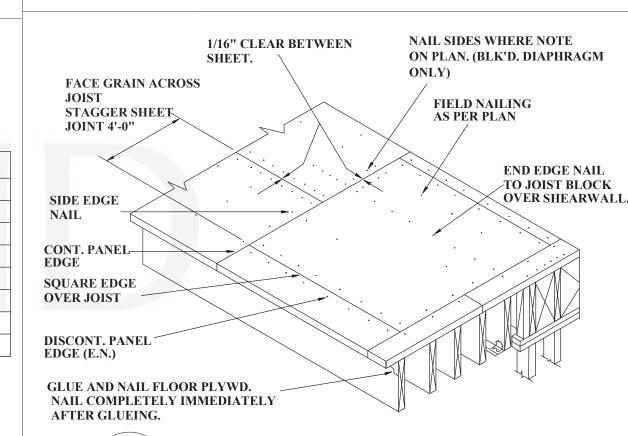




NOTCH & BORE LIMITS @ STUDS & NOT TO SCALE **JOISTS**

APPROVAL OF STRUCTURAL ENGINEER.

NOTE: NOTCHES LARGER THAN 6" ARE NOT PERMITTED WITHOUT PRIOR



NAILING SPEC'S

TYP. ROOF/FLOOR SHEATHING NOT TO SCALE NAILING DET.

TYP. FOR BLOCKED AND UNBLOCKED DIAPHRAGM SEE GENERAL NOTES @ LEFT FOR SHEARPLY &

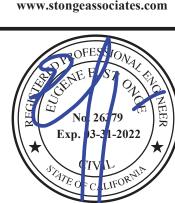
REVISIONS

ST. ONGE ASSOCIATES

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GENERAL NOTES DETAILS

JAC & LBH CHECKED October 19, 2020 SCALE As Noted 1950B SHEET